

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application



WELL TBC Kansas City JV, LLC



ECONOMIC DEVELOPMENT CORPORATION

For any project seeking assistance through the following agencies, a completed application form must be provided. Those agencies include: Tax Increment Financing Commission, Land Clearance for Redevelopment Authority, Port Authority, and Planned Industrial Expansion Authority, Chapter 353.

REDEVELOPMENT PROJECT APPLICATION

➤ Application may be submitted electronically.

Email completed application to Dona Mathieu at dmathieu@edkc.com. (816) 221-0636

If more space is required for response to any question, please attach additional sheet(s).

1. APPLICANT INFORMATION

Applicant/Organization Name: WELL TBC Kansas City JV, LLC

Business Address: 3299 K Street, NW, Suite 700, Washington, DC 20007

Contact Person: Phil Aftuck

E-Mail Address: paftuck@tbco.biz

Phone: 202-333-9000 Fax: 202-333-3323

Address (if different than business address) _____

Attorney for Applicant: NA

Attorney's Address: NA

Attorney's Phone: NA

2. LOCATION OF THE PROJECT

General Boundaries: The project is located at 500 E. 8th Street and consists of one tax parcel - Jackson County No. 29-210-15-01-00-0-00-000. The parcel is bound by Admiral Boulevard on the north, Cherry Street on the east, E. 8th Street on the south, and Locust Street on the west.

Legal Description: _____

A tract of land, being all or parts of Lots 1, 2, 3, 4, 5, 6, 20, 21, 22, 23 and 24, Block 7, RICE'S ADDITION, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, and the vacated alley lying adjacent to said lots, more particularly described as beginning at a

point on the South line of Admiral Boulevard 103 feet East of the East line of Locust Street, run thence East along the South line of Admiral Boulevard a distance of 54.13 feet to a point in the center line of the vacated North and South alley next West of Cherry Street; thence South along said center line a distance of 13 feet; thence East along the South line of Admiral Boulevard as projected westward from its intersection with the West line of Cherry Street a distance of 157.12 feet, more or less, to said point of intersection in the West line of Cherry Street; thence South along the West line of Cherry Street, a distance of 250 feet, more or less, to the North line of 8th Street; thence West along the North line of 8th Street, a distance of 233.25 feet to a point located 81 feet East of the intersection of the North line of 8th Street with the East line of Locust Street; and thence Northerly along a straight line to a point on the South line of Admiral Boulevard 103 feet East of the East line of Locust Street, the point of beginning.

County: Jackson Council District: 4th

Total Acreage: 1.30 acres

Is the project located in any incentive areas? Civic Mall TIF; Eastside URA; Opportunity Zone

What is the current zoning of the project area? DC-15

What is the proposed zoning for the project area? DC-15

If a zoning change is pending, cite application number and present status. If application has not been made, briefly describe what change will be needed and plans for submitting application:

Rezoning not necessary.

Land Use Plan Greater Downtown Area Plan Need for Modification No

3. THE PROJECT

Provide a detailed narrative description of the proposed project, including information as the size of the project, amount of land (property) to be purchased, whether the project is a rehabilitation of existing structure(s), expansion, or the construction of a new facility, residences, etc. Describe what products or services are to be manufactured or provided through this project.

➤ New Construction Rehab/Expansion Residential Commercial Industrial

➤ Single Family/Duplex Multifamily Retail Mixed Use Office

500 E. 8th Street entails the adaptive reuse of the 13-story, vacant former AT+T office building on the northern edge of the downtown loop. The rehabilitation will result in a total of 265 new apartments in 209,212 net leasable square feet. Of the apartments, 100 are studio/1 bath units, 60 units are one-bedroom/one bath, 90 units are two-bedroom/one bath, and 15 units are two-bedroom/two

baths. The studio units average 639 square feet. The one-bedroom apartments average 707 square feet. And the two-bedroom apartments average 980 square feet. The average rent for all units will be \$1.87 per square foot (2021 dollars), or \$1,476 per month. Amenities include a fitness Center, remote work area, and a lounge. Area on the first and third floors will be converted to coworking office space. Covered parking is also available - 575 parking spaces - in a six-floor parking garage located underground.

The request for assistance entails a sale/leaseback of fifteen years from the LCRA that would effectively provide tax abatement at 100% for the first 10 years and 50% tax abatement for the subsequent five years.

The project assumptions include the State Historic Preservation Office approving the installation of windows on the second floor of the building. Should the SHPO not approve windows on the second floor, the project will lose 15 units (10 1BR units and 5 2BR units). Proformas and a budget for such a scenario have been included in the attachments. Rents would need to increase to \$1.91 (2021 dollars) per square foot to achieve financial performance similar to the scenario with 265 total units.

Square footage: 367,000 gsf, 209,212 nla

No. of dwelling units 265 No. of hotel rooms NA No. of parking spaces 575

List any nationally or locally historical properties and/or districts within the Project Area. *(Contact the City Landmarks Commission at (816) 513-2902 for information regarding local and national historical properties and/or districts)*

None at this time.

Please describe any environmental sustainability features of your project including level of LEED certification (if applicable) and/or energy efficiency/alternative energy features. (Please note if you are interested in receiving free information from EDC staff on how available energy efficiency programs can reduce your overall project costs.) See also: <https://www.evergy.com/ways-to-save/incentives>

Upon completion of the rehabilitation the property will satisfy, at a minimum, the requirements to be awarded two Globes within the Green Globes Building Certification, a program of the Green Building Initiative. Energy features will include, among others, the use of Energy Star appliances and highly efficient VRF systems (HVAC).

5. CONTROL OF PROPERTY

If the Applicant owns the project site, indicate:

Date of Purchase _____

Sales Price _____

If the Applicant has a contract or option to purchase the project site, indicate:

Sales Price \$13,000,000

Date purchase/option contract signed 11/16/2021

Closing/expiration date 01/10/2022

If the Applicant will lease the project site, indicate:

Legal Name of Owner _____

Owner's Address _____

Owner of land upon completion of the Project _____

6. LAND ACQUISITION

For each Project Area, please provide the following: **NA**

- A map showing all parcels to be acquired
- Addresses and parcel numbers of all parcels to be acquired
- Current owners of all parcels to be acquired

Is the use of Eminent Domain anticipated? _____

7. SOURCES OF FUNDS:

State amount and sources of financing for each Project costs listed above. Please provide commitment letters for any sources received listing terms and conditions.

<u>SOURCE</u>	<u>AMOUNT</u>
Construction/Permanent Financing	\$ 43,049,160
Historic Preservation Tax Credit Equity	\$ 23,842,607
Developer Equity (Land/Cash)	\$ 24,356,108
Total	\$ 91,247,875

8. DEVELOPMENT TEAM

Identify members of the development team and provide evidence of experience with other development projects.

The Bernstein Companies (“TBC”) is a privately-owned, fully-integrated and diversified real estate firm founded in 1933. TBC’s vertically integrated team of in-house professionals internally manages TBC’s portfolio of properties, investments, loans and development projects. TBC’s integrated platform has successfully completed over \$1.5 billion of tax credit transactions, \$3 billion in real property transactions and today runs the company’s robust and diverse privately held portfolio of more than 2.5 million square feet. TBC is in the process of completing the rehabilitation of the Mark Twain Tower. More information about the principals of the development team are attached.

9. FINANCIAL INFORMATION – see attached

- A. Budget – include a detailed breakdown of all hard and soft costs
- B. Complete list of sources and uses of funds (indicate if you have received tax credits and secured other financing)
- C. 10 year operating pro forma
 - One that shows the project without any incentive assistance
 - One that shows the project with requested incentive

The Pro forma should also include assumptions such as estimated lease rates, revenue assumptions, and expense assumptions.

- D. If seeking TIF assistance, provide projections for PILOTS and EATS.
- E. If seeking TIF or Chapter 100 assistance, provide a personal property depreciation and replacement schedule.
- F. Financing Term Sheet.

10. BOND FINANCING

Bond Financing is handled on a case-by-case basis.

11. REQUIRED ATTACHMENTS

- **Attachment A** A map showing the boundaries of the project.
- **Attachment B** A development schedule for the project, including the phasing of development and the locations and improvements to be accomplished in each phase.
- **Attachment C** Design plans for the project (including site plans & elevations), if available.

- **Attachment D** Letter(s) of Support from one or more of the following: councilpersons, mayor, county official, state representative, state senator, local taxing entities, and/or neighborhood organization(s).

12. BANKRUPTCY DISCLOSURE

Has the applicant or any parent, subsidiary or business entity otherwise affiliated with the applicant, ever filed a petition for bankruptcy or appointed a receiver? If **Yes**, the applicant must obtain and file a **“Statement of Bankruptcy/Receivership.”**

No **Yes**

13. CERTIFICATION OF APPLICANT:

The undersigned hereby represents and certifies that to the best knowledge and belief of the undersigned, this project application contains no information or data, contained herein or in the attachments, that is false, incorrect or misleading.

NAME: Phil Aftuck
SIGNATURE: _____
TITLE: Director – Investments

FEES WILL BE CALCULATED AND COLLECTED AT A FUTURE DATE.

APPLICATION MAY BE EMAILED dmathieu@edckc.com or

MAIL COMPLETED APPLICATION TO: **Economic Development Corporation**
Attn: Dona Mathieu
300 Wyandotte, Suite 400
Kansas City, Missouri 64105



ECONOMIC DEVELOPMENT CORPORATION

FOR INTERNAL USE ONLY

Assistance Project will be evaluated for with financial analysis:

- | | |
|-------------------------------|---|
| <input type="checkbox"/> TIF | <input type="checkbox"/> PIEA/Chapter 353 |
| <input type="checkbox"/> LCRA | <input type="checkbox"/> Chapter 100 |

Comments:

Advance KC Project Inquiry Meeting Date:

Score Card Value _____

Financial Analysis Review Committee:

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

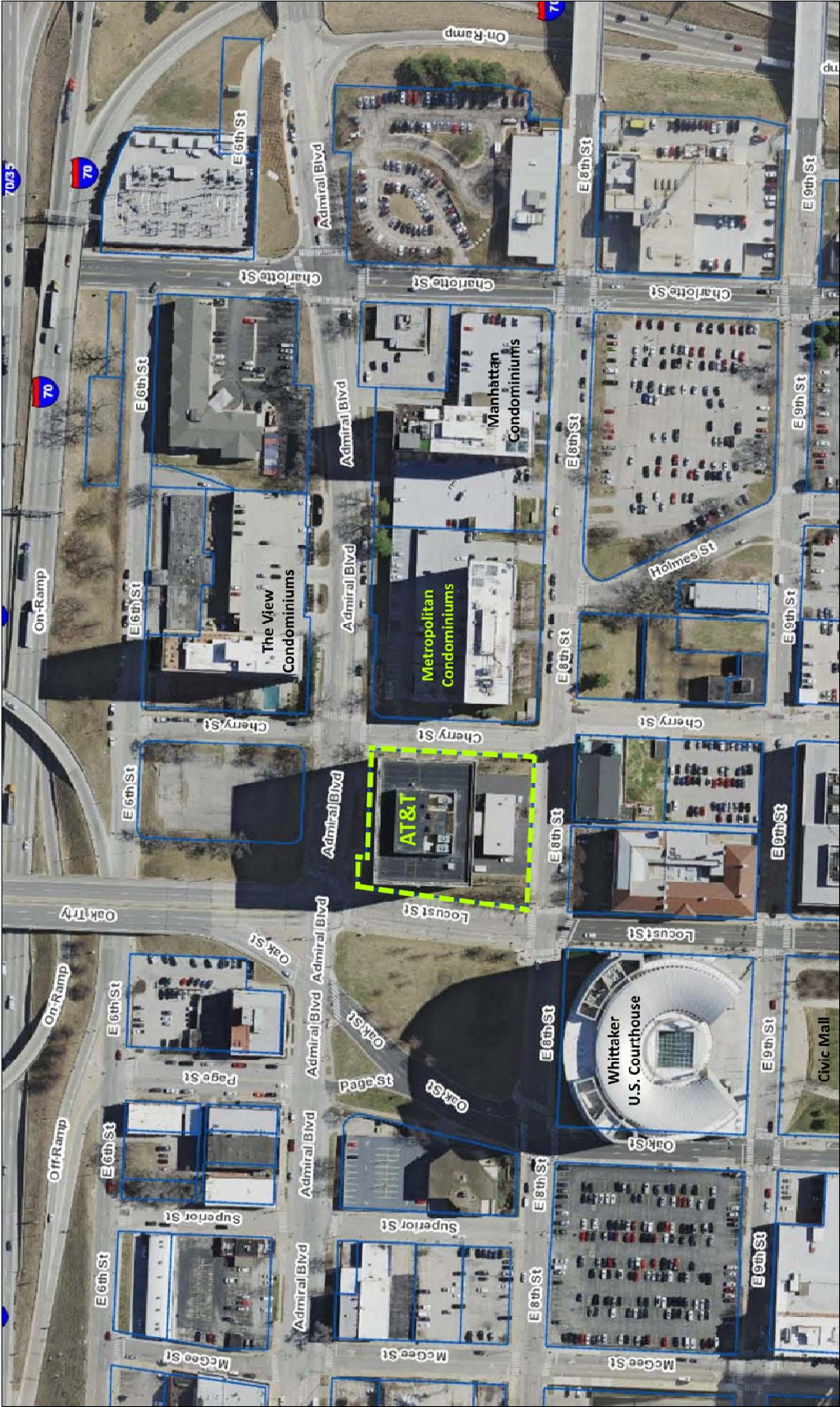
- A. MAP
- B. DEVELOPMENT SCHEDULE
- C. DESIGN PLANS
- D. DEVELOPER INFORMATION
& PRINCIPAL BIOS
- E. FINANCIAL INFORMATION

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

- A. MAP
- B. DEVELOPMENT SCHEDULE
- C. DESIGN PLANS
(FORTHCOMING)
- D. DEVELOPMENT INFORMATION
& PRINCIPAL BIOS
- E. FINANCIAL INFORMATION



500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

- A. MAP
- B. DEVELOPMENT SCHEDULE**
- C. DESIGN PLANS
(FORTHCOMING)
- D. DEVELOPMENT INFORMATION
& PRINCIPAL BIOS
- E. FINANCIAL INFORMATION

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

DEVELOPMENT SCHEDULE

Construction Commences	3 rd Quarter 2022
Placed In Service	1 st Quarter 2024
Stabilization	1 st Quarter 2025

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

- A. MAP
- B. DEVELOPMENT SCHEDULE
- C. DESIGN PLANS**
- D. DEVELOPER INFORMATION
& PRINCIPAL BIOS
- E. FINANCIAL INFORMATION

AT&T BUILDING MULTIFAMILY

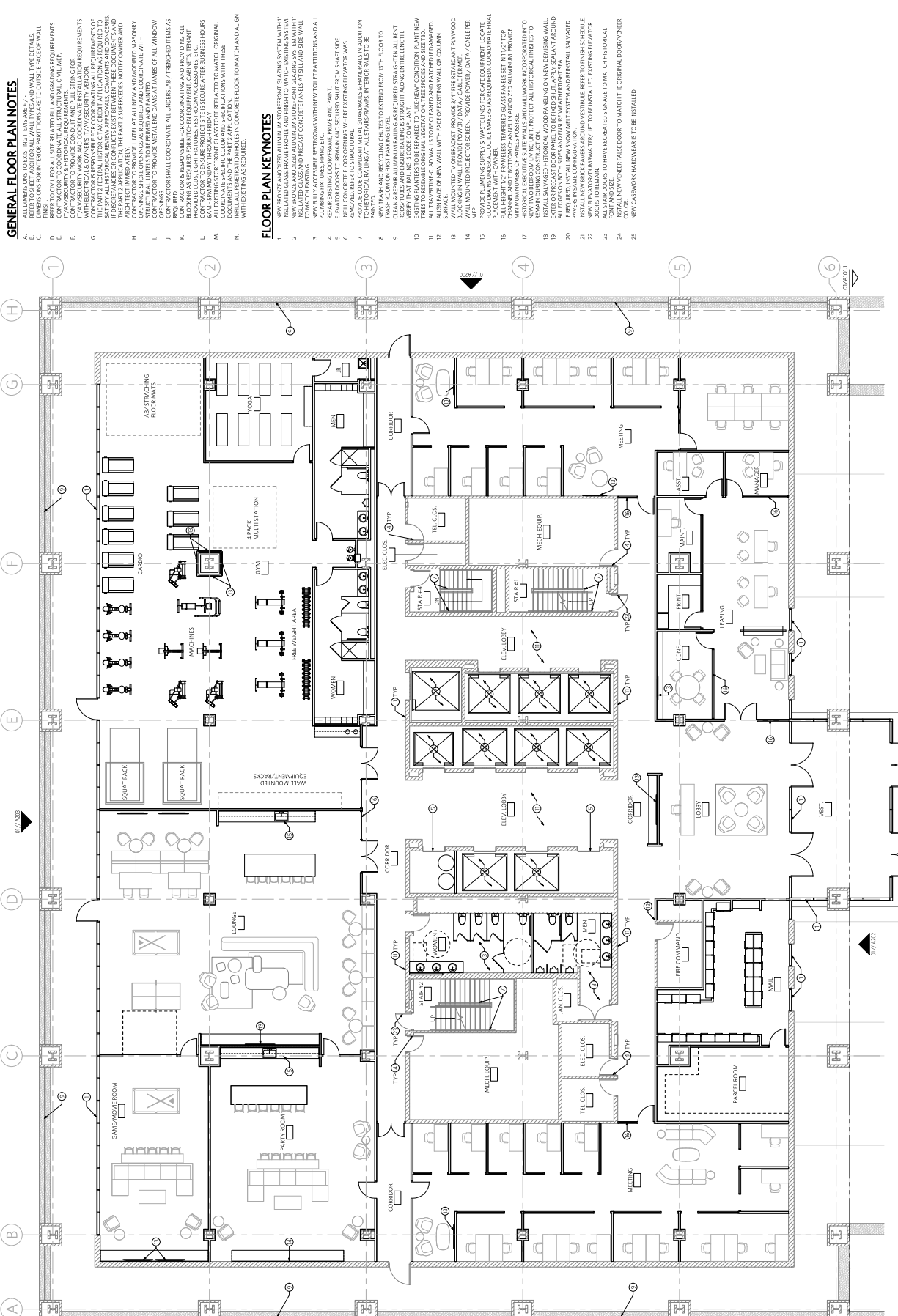
500 EAST 8TH ST
 KANSAS CITY, MO

NOT FOR CONSTRUCTION

REV. ISSUE DATE
 REVISED PART 2 2021.12.13
 SUBMISSION

01 FIRST FLOOR PLAN
 1/8" = 1'-0"

© 2021 Clockwork All Rights Reserved



GENERAL FLOOR PLAN NOTES

1. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL.
2. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
3. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
4. REFER TO ELECTRICAL FOR ALL ELECTRICAL AND WALL TYPE DETAILS.
5. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
6. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
7. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
8. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
9. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
10. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
11. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
12. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
13. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
14. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
15. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
16. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
17. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
18. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
19. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
20. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
21. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
22. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
23. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
24. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
25. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.

FLOOR PLAN KEYNOTES

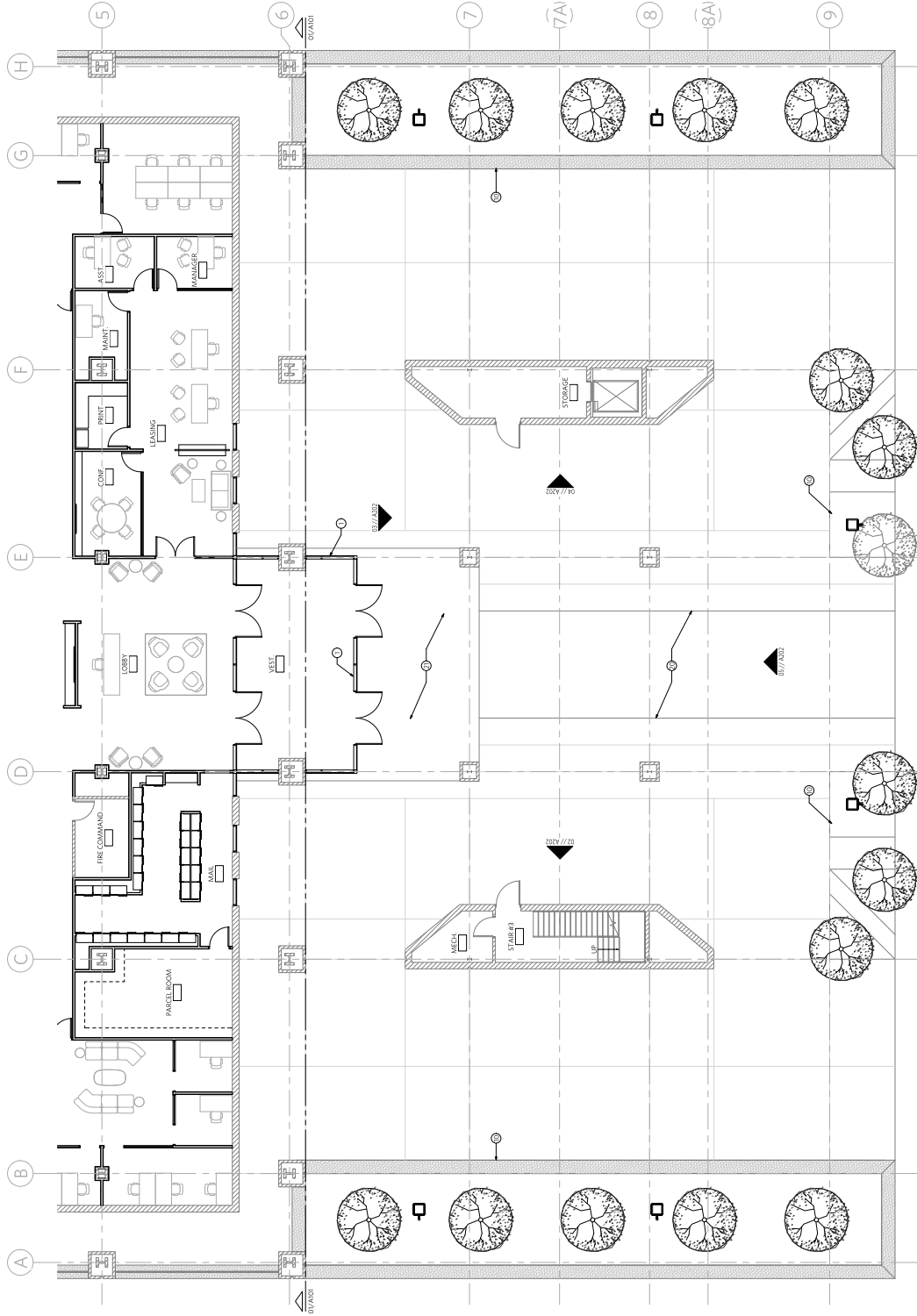
1. NEW MIRROR CASEWORK SHALL BE OVERBUILT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
2. NEW MIRROR CASEWORK SHALL BE OVERBUILT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
3. INSULATED GLASS AND PRECAST CONCRETE PANELS SHALL BE MATCHED TO EXISTING SYSTEM.
4. PLUMBING FIXTURES SPRING ETC.
5. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
6. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
7. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
8. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
9. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
10. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
11. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
12. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
13. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
14. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
15. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
16. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
17. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
18. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
19. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
20. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
21. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
22. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
23. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
24. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.
25. REFER TO MECHANICAL FOR ALL MECHANICAL AND WALL TYPE DETAILS.

GENERAL FLOOR PLAN NOTES

- A. ALL DIMENSIONS TO EXISTING ITEMS UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS TO EXISTING WALL TYPE DETAILS.
- C. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.
- D. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- E. REFER TO MECHANICAL FOR ALL MECHANICAL REQUIREMENTS.
- F. REFER TO ELECTRICAL FOR ALL ELECTRICAL REQUIREMENTS.
- G. CONTRACTOR TO PROVIDE CONDUIT AND FULL STRING FOR ALL NEW ELECTRICAL WIRING. ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH ELECTRICAL & OWNER'S STANDARDS AND REQUIREMENTS.
- H. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS. ALL PERMITS AND APPROVALS TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
- I. CONTRACTOR TO PROVIDE ALL NECESSARY COMMENTS AND NOTICES TO THE PART 2 FEDERAL HISTORIC TAX CREDIT APPLICATION AS REQUIRED TO OBTAIN ALL HISTORICAL REVIEW APPROVALS. COMMENTS AND NOTICES TO BE PROVIDED TO THE ARCHITECT AND THE PART 2 JURISDICTIONS. NOTIFY OWNER AND ARCHITECT IMMEDIATELY UPON RECEIVING ANY DISCREPANCY WITH STRUCTURAL DETAILS TO BE AMENDED AND PAINTED.
- J. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOWS UNLESS OTHERWISE NOTED.
- K. CONTRACTOR SHALL COORDINATE ALL UNDERLAYS / TRENCHED ITEMS AS NOTED. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR ALL UNDERLAYS AND TRENCHES. CONTRACTOR TO ENSURE PROTECTIVE SHEET PILING IS INSTALLED TO MAINTAIN ALL EXISTING STOREFRONT GLASS TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
- L. CONTRACTOR TO PROVIDE UNITS AT ALL NEW AND MODIFIED MASONRY WALLS. UNITS TO BE INSTALLED IN ACCORDANCE WITH THE PART 2 APPLICATIONS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
- M. INHIBIT ALL PENETRATIONS IN CONCRETE FLOOR TO MATCH AND ALIGN WITH FINISHING REQUIREMENTS.
- N. REFER TO MECHANICAL FOR ALL MECHANICAL REQUIREMENTS.

FLOOR PLAN KEYNOTES

1. NEW MASONRY SHALL BE CONFORMING TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. INSULATED GLASS GLAZING SYSTEMS WITH 1" INSULATED GLASS UNITS TO BE USED FOR ALL EXISTING SYSTEMS TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
3. INSULATED GLASS AND FRAMED CONCRETE PANELS AT WALL AND SIDE WALL TO MATCH EXISTING.
4. REPAIR AND REFINISH EXISTING FLOORING TO MATCH EXISTING.
5. REPAIR AND REFINISH EXISTING WALLS TO MATCH EXISTING.
6. REPAIR AND REFINISH EXISTING CEILING TO MATCH EXISTING.
7. PROVIDE COORDINATE METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILINGS AT ALL STAIRS/RAMP INTERIORS TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
8. NEW TRASH AND RECYCLING CHUTES TO EXTEND FROM 18TH FLOOR TO 19TH FLOOR. CHUTES TO BE INSTALLED IN ACCORDANCE WITH THE PART 2 APPLICATIONS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
9. CLEAN UP AND REMOVE ALL EXISTING MATERIALS. STRAIGHTEN ALL BENT REBAR AND REBAR BUNDLES STRAIGHT ALONG ENTIRE LENGTH.
10. EXISTING PARTITIONS TO BE REPAIRED TO "LIKE-NEW" CONDITION. PAINT NEW PARTITIONS TO MATCH EXISTING PARTITIONS. ALL EXISTING PARTITIONS TO BE REPAIRED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATIONS WITH THESE REQUIREMENTS.
11. ALL EXISTING GLAZING TO BE CLEANED AND PATCHED IF DAMAGED.
12. ALIGN FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN.
13. WALL MOUNTED TV ON BRACKET. PROVIDE 3/4" FIRE RATED ANTI-WIND BLOCKING IN WALL. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
14. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
15. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
16. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
17. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
18. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
19. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
20. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
21. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
22. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
23. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
24. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.
25. PROVIDE PROTECTIVE SCREEN. PROVIDE POWER / DATA / CABLE TRAY / RACEWAY. PROVIDE PROTECTIVE SCREEN.



01 | FIRST FLOOR PLAN - SOUTH END
 1/8" = 1'-0"

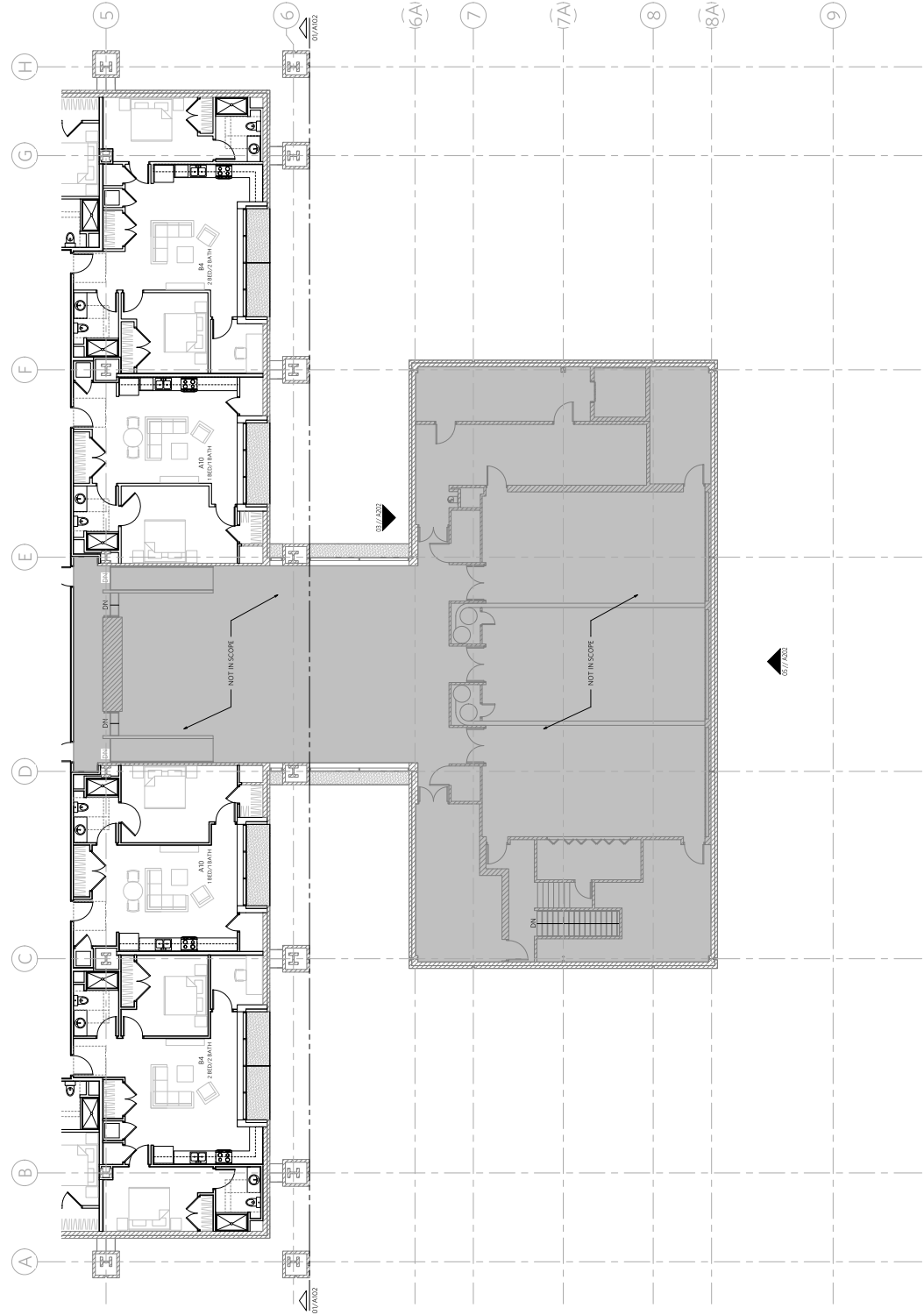
NOT FOR CONSTRUCTION

GENERAL FLOOR PLAN NOTES.

- A. ALL DIMENSIONS TO EXISTING ITEMS UNLESS NOTED OTHERWISE.
- B. ALL DIMENSIONS TO NEW WALL TYPE DETAILS.
- C. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.
- D. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
- E. REFER TO MECHANICAL FOR ALL MECHANICAL REQUIREMENTS.
- F. REFER TO ELECTRICAL FOR ALL ELECTRICAL REQUIREMENTS.
- G. CONTRACTOR TO PROVIDE CONDUIT AND TULL STRING FOR ALL NEW ELECTRICAL AND TELEPHONE TRUNKING.
- H. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH ELECTRICAL & OWNER'S SIGNATURE AND STAMP.
- I. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH MECHANICAL & OWNER'S SIGNATURE AND STAMP.
- J. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH PLUMBING & OWNER'S SIGNATURE AND STAMP.
- K. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH FIRE ALARM & OWNER'S SIGNATURE AND STAMP.
- L. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH ELEVATOR & OWNER'S SIGNATURE AND STAMP.
- M. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH STRUCTURAL & OWNER'S SIGNATURE AND STAMP.
- N. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOW UNITS.
- O. CONTRACTOR SHALL UNDERLAIN / FRENCHED ITEMS AS NOTED.
- P. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL NECESSARY PERMITS AND APPROVALS FOR ALL WORK.
- Q. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS.
- R. CONTRACTOR TO ENSURE ALL EXISTING STOREFRONT GLASS TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 7 APPLICATION.
- S. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH STRUCTURAL & OWNER'S SIGNATURE AND STAMP.
- T. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH MECHANICAL & OWNER'S SIGNATURE AND STAMP.
- U. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH ELECTRICAL & OWNER'S SIGNATURE AND STAMP.
- V. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH PLUMBING & OWNER'S SIGNATURE AND STAMP.
- W. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH FIRE ALARM & OWNER'S SIGNATURE AND STAMP.
- X. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH ELEVATOR & OWNER'S SIGNATURE AND STAMP.
- Y. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH STRUCTURAL & OWNER'S SIGNATURE AND STAMP.
- Z. CONTRACTOR TO PROVIDE ALL NECESSARY PERMITS AND APPROVALS WITH MECHANICAL & OWNER'S SIGNATURE AND STAMP.

FLOOR PLAN KEYNOTES

1. NEW BRICK WALLS SHALL BE CONSTRUCTED OVER EXISTING SYSTEM WITH 1" INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
2. NEW BRICK WALLS SHALL BE CONSTRUCTED OVER EXISTING SYSTEM WITH 1" INSULATED GLASS AND PRECAST CONCRETE PANELS AT ALL WALL AND SIDE WALL.
3. TO MATCH EXISTING.
4. PLUMBING FIXTURES SPRING ETC.
5. REPAIRS TO EXISTING POWER AND SHUNT FROM SHUNT SIDE.
6. NEW CONCRETE FLOOR OPENING WHERE EXISTING ELEVATOR WAS.
7. PROVIDE CODE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMP INTERIORS TO BE REPLACED.
8. NEW TRASH AND RECYCLING CHUTES TO EXTEND FROM 18TH FLOOR TO 2ND FLOOR.
9. CLEAN UP AND REMOVE ALL DEBRIS AND MATERIALS TO BE REMOVED.
10. EXISTING PARTITION WALLS TO REMAIN UNLESS NOTED OTHERWISE.
11. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
12. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
13. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
14. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
15. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
16. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
17. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
18. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
19. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
20. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
21. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
22. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
23. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
24. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.
25. ALL EXISTING PARTITION WALLS TO BE REPAIRED TO MATCH EXISTING CONDITION.



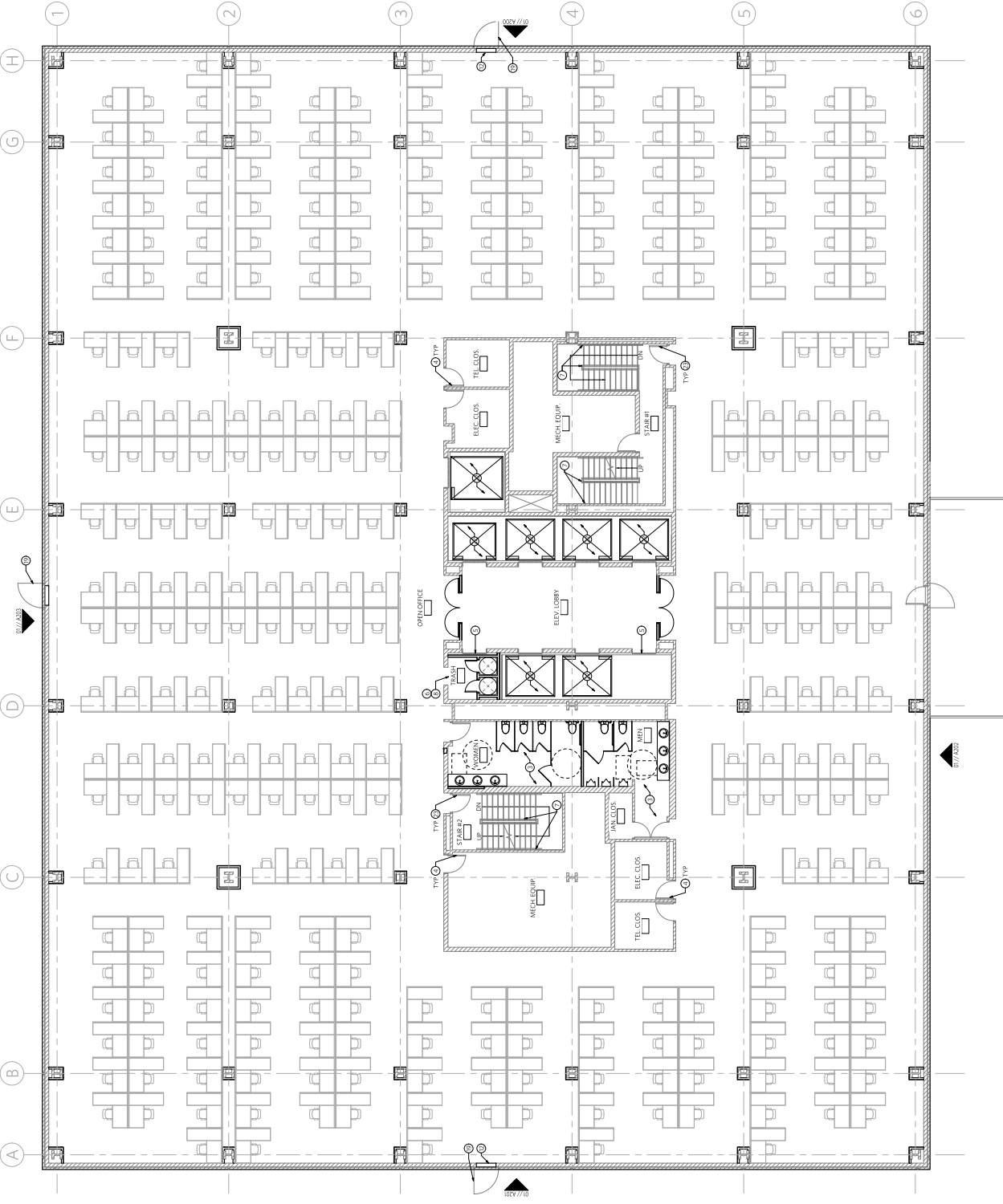
01 | SECOND FLOOR PLAN - SOUTH END
 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. ALL DIMENSIONS TO EXISTING ITEMS UNLESS NOTED OTHERWISE.
2. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS.
3. REFER TO MECHANICAL FOR ALL MECHANICAL EQUIPMENT AND REQUIREMENTS.
4. REFER TO ELECTRICAL FOR ALL ELECTRICAL EQUIPMENT AND REQUIREMENTS.
5. REFER TO ARCHITECTURAL FOR ALL ARCHITECTURAL REQUIREMENTS.
6. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL ELECTRICAL AND TELECOMMUNICATIONS.
7. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
8. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
9. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
10. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
11. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
12. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
13. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
14. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
15. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
16. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
17. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
18. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
19. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
20. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
21. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
22. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
23. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
24. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.
25. CONTRACTOR TO PROVIDE CONDUIT AND FILL STRING FOR ALL TELECOMMUNICATIONS.

FLOOR PLAN KEYNOTES

1. NEW GLAZING SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING: INSULATED GLASS, FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. GLAZING SHALL BE SET IN A NEW "TYPICAL" CONCRETE SILL AND SIDE WALL. INSULATED GLASS AND PRECAST CONCRETE PANELS SHALL MATCH EXISTING TO MATCH EXISTING.
2. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
3. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
4. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
5. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
6. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
7. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
8. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
9. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
10. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
11. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
12. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
13. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
14. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
15. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
16. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
17. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
18. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
19. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
20. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
21. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
22. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
23. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
24. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.
25. PLUMBING FIXTURES SHALL BE RELOCATED TO MATCH EXISTING TO MATCH EXISTING.



01 | THIRD FLOOR PLAN
 1/8" = 1'-0"

AT&T BUILDING MULTIFAMILY

500 EAST 8TH ST
 KANSAS CITY, MO

NOT FOR CONSTRUCTION

REV. ISSUE DATE
 REVISED PART 2 2021.12.13
 SUBMISSION

TYPICAL FLOOR
 PLAN (FLOORS 4-12)

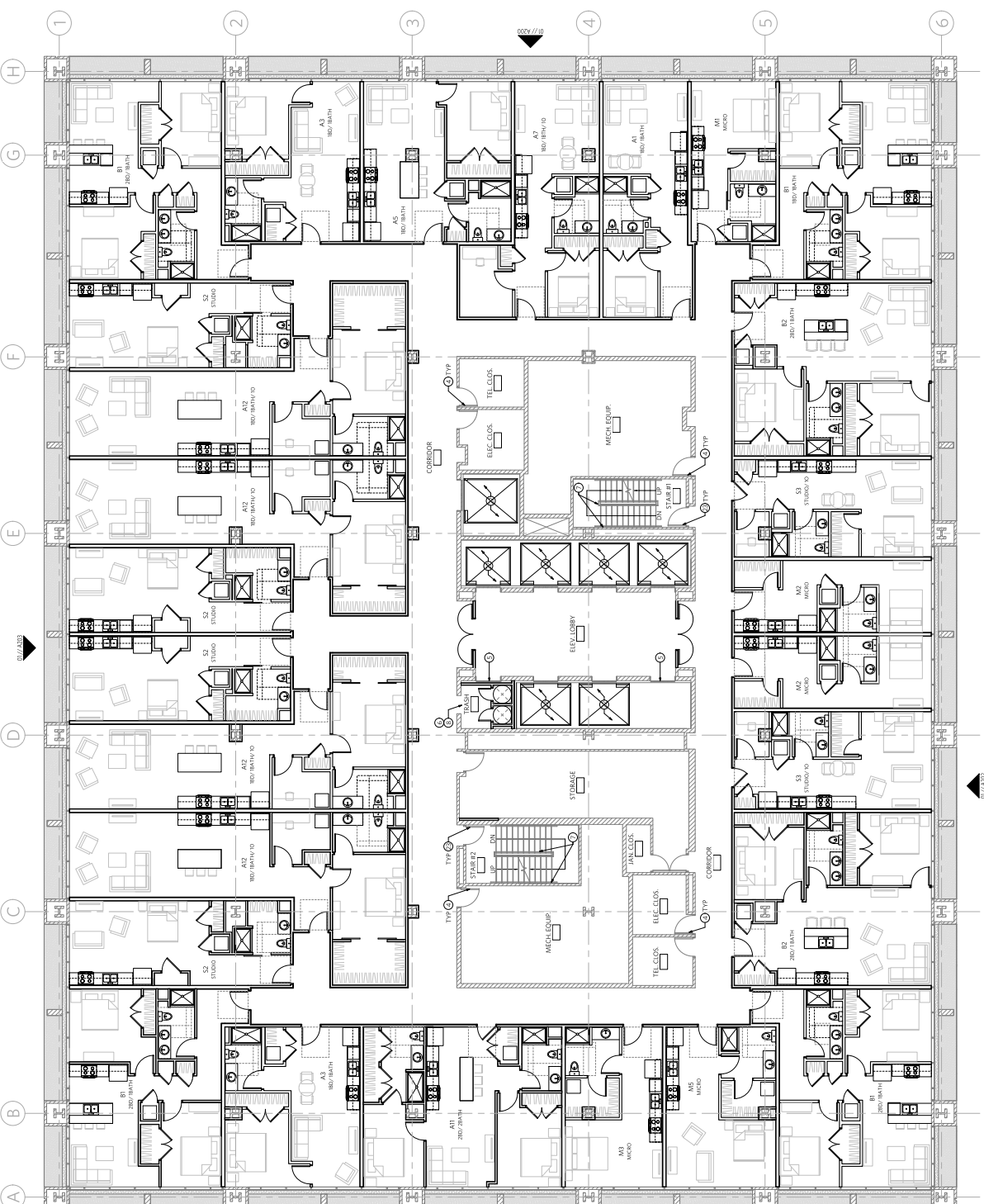
A104

GENERAL FLOOR PLAN NOTES

1. ALL DIMENSIONS TO EXISTING ITEMS UNLESS NOTED OTHERWISE.
2. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.
3. DIMENSIONS FOR EXTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO PROVIDE CONDUIT AND PULL STRING FOR ALL ELECTRICAL AND TELEPHONE WIRING IN ACCORDANCE WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
5. CONTRACTOR TO PROVIDE INTEL AT ALL NEW AND MODIFIED MASONRY STRUCTURES. INTEL SHALL BE INSTALLED AND FINISHED TO MATCH EXISTING INTEL.
6. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOWS UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL COORDINATE ALL UNDERLAYS / TRENCED ITEMS AS REQUIRED FOR ALL NEW AND MODIFIED MASONRY.
8. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BIDDING AS REQUIRED FOR KITCHEN EQUIPMENT, CABINETS, TANKS, SINKS, AND DISHWASHERS.
9. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS.
10. ALL EXISTING STOREFRONT GLASS TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATION WITH THESE DIMENSIONS.
11. INTEL ALL PENETRATION HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN WITH FINISHING MATERIALS.

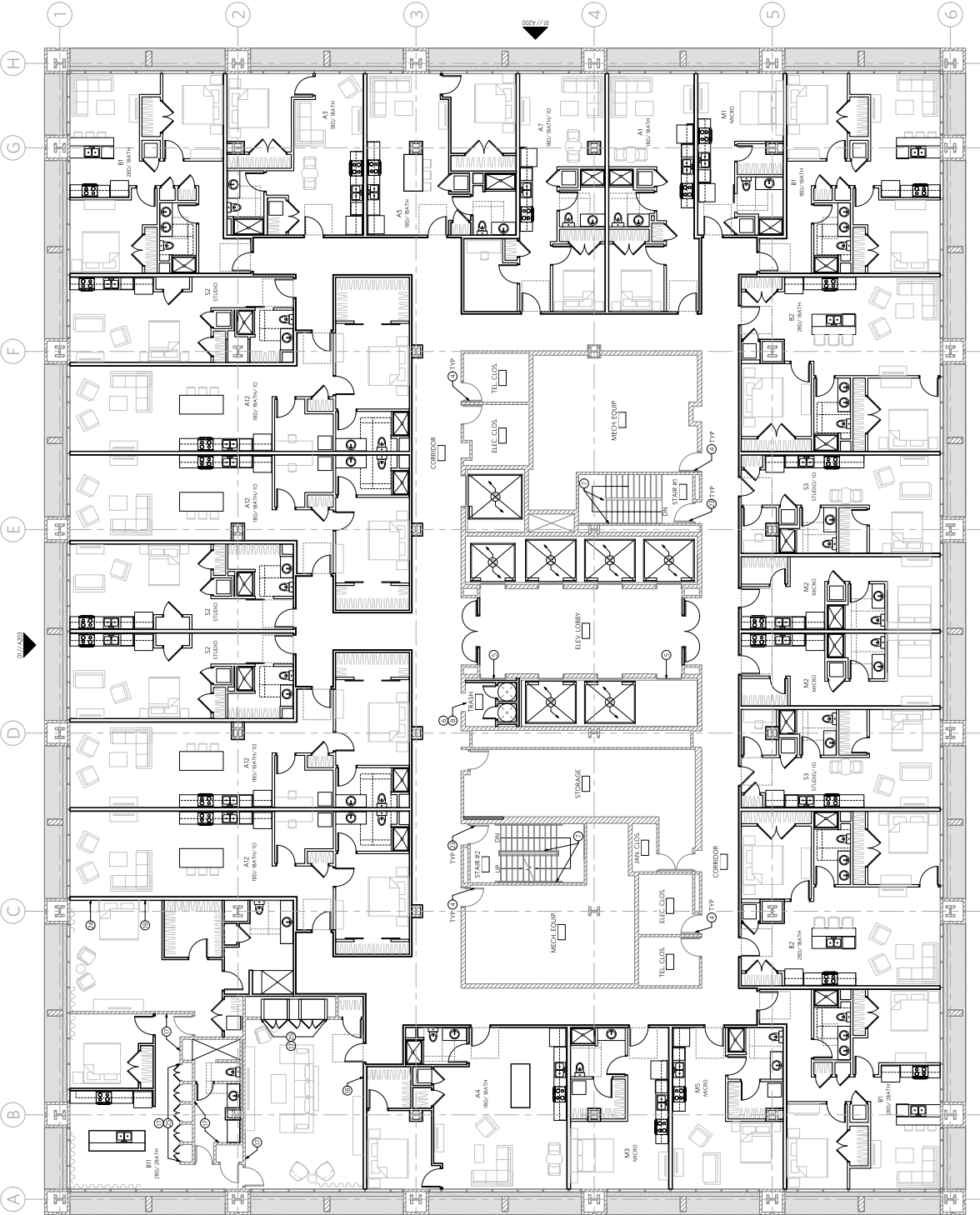
FLOOR PLAN KEYNOTES

1. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
2. INSULATED GLASS UNIT GLAZING SYSTEM WITH 1/2" INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
3. PLUMBING FIXTURES SPRING ETC.
4. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
5. INTEL CONCRETE FLOOR OPENING WHERE EXISTING ELEVATOR WAS LOCATED TO MATCH EXISTING INTEL.
6. PROVIDE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMP INTERIOR RAILS TO BE REPLACED TO MATCH EXISTING.
7. NEW TRASH AND RECYCLING CHUTES TO EXTEND FROM 13TH FLOOR TO 4TH FLOOR UNLESS NOTED OTHERWISE.
8. CLEAN ROOM ALUMINUM FINISHES TO BE STRAIGHTENED ALL BENT FINISHES AND FINISHES SHALL BE STRAIGHTENED ALONG ENTIRE LENGTH.
9. EXISTING PAINTERS TO BE REPAIRED TO "LIKE NEW" CONDITION. PAINT NEW FINISHES TO MATCH EXISTING FINISHES.
10. ALL TRAILING GLASS WALLS TO BE CLEANED AND PATCHED IF DAMAGED.
11. ALUMINUM FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN.
12. WALL MOUNTED TV ON BRACKET PROVIDE 3/4" FIRE RETARDANT PLYWOOD BLOCKING IN WALL PROVIDE POWER / DATA / CABLE TRAYS AND RACEWAYS TO BE INSTALLED TO MATCH EXISTING.
13. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
14. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
15. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
16. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
17. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
18. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
19. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
20. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
21. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
22. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
23. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
24. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.
25. NEW MASONRY SHALL BE CONFORMANT WITH THE PART 2 FEDERAL HISTORICAL TAX CREDIT APPLICATION AS REQUIRED TO SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS.



01 | 4TH-12TH TYPICAL FLOOR PLAN
 1/8" = 1'-0"

- GENERAL FLOOR PLAN NOTES**
1. ALL DIMENSIONS TO EXISTING ITEMS UNLESS SHOWN OTHERWISE.
 2. DIMENSIONS FOR INTERIOR PARTITIONS ARE TO OUTSIDE FACE OF WALL UNLESS NOTED OTHERWISE.
 3. REFER TO CIVIL FOR ALL SITE RELATED FILL AND GRADING REQUIREMENTS, PERMITS, EROSION CONTROL, AND OTHER REGULATORY REQUIREMENTS.
 4. CONTRACTOR TO PROVIDE CONDUIT AND RULL STRIPS FOR ALL ELECTRICAL AND COMMUNICATIONS SERVICES IN ACCORDANCE WITH THE PART 2 FEDERAL HISTORICAL ARCHITECTURE PRESERVATION REQUIREMENTS WITH ELECTRICAL AND COMMUNICATIONS SERVICES TO BE PROVIDED IN ACCORDANCE WITH THE PART 2 FEDERAL HISTORICAL ARCHITECTURE PRESERVATION REQUIREMENTS.
 5. SATISFY ALL HISTORICAL REVIEW APPROVALS, COMMENTS AND CONCERNS BEFORE COMMENCING CONSTRUCTION. ALL HISTORICAL REVIEW APPROVALS AND COMMENTS MUST BE ATTACHED TO THE PART 2 APPLICATION, THE PART 2 SUPERSEDES, NOTIFY OWNER AND CONTRACTOR TO PROVIDE INTEL AT ALL NEW AND MODIFIED MASSORY STRUCTURAL, UTILITY, TO BE SPANNED AND FANDED.
 6. CONTRACTOR TO PROVIDE METAL END DAMS AT JAMBS OF ALL WINDOWS AND DOORS.
 7. CONTRACTOR SHALL COORDINATE ALL UNDERLAYS / TRINCED ITEMS AS SHOWN ON THE PART 2 AND PROVIDE INTEL TO THE ARCHITECT AS WELL AS BEING RESPONSIBLE FOR COORDINATING AND PROVIDING ALL NECESSARY MATERIALS, INCLUDING THE REPAIR OF ALL EXISTING DAMAGE TO THE BUILDING.
 8. CONTRACTOR TO ENSURE PROJECT SITE IS SECURE AFTER BUSINESS HOURS AND TO MAINTAIN ACCESS TO ALL EXISTING SERVICES TO BE REPLACED TO MATCH ORIGINAL DOCUMENTS AND THE PART 2 APPLICATION WITH THESE REQUIREMENTS.
 9. INFILL ALL PENETRATING HOLES IN CONCRETE FLOOR TO MATCH AND ALIGN WITH EXISTING ADJACENT AREAS.



FLOOR PLAN KEYNOTES

1. NEW GLAZING SHALL BE EQUESTRIAN GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. ALL GLAZING SHALL BE PROTECTED FROM WEATHER AND SHALL BE INSTALLED WITH INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
2. ALL EXISTING PLUMBING SHALL REMAIN UNLESS NOTED OTHERWISE.
3. PLUMBING FIXTURES SPRING ETC.
4. REPAIR AND/OR REPLACE ROOFING AND GUTTERS FROM SHAFT SIDE.
5. REPAIR AND/OR REPLACE ROOFING AND GUTTERS FROM SHAFT SIDE.
6. INFILL CONCRETE FLOOR OPENING WHERE EXISTING ELEVATOR WAS LOCATED TO MATCH EXISTING FLOOR FINISH.
7. PROVIDE COMPLIANT METAL GUARDRAILS & HANDRAILS IN ADDITION TO HISTORICAL RAILING AT ALL STAIRS/RAMP. INTERIOR HANDRAILS TO BE MATCHED TO EXISTING FINISH.
8. NEW TRASH AND RECYCLING CHUTES TO EXTEND FROM 13TH FLOOR TO ROOF. CHUTES TO BE PROTECTED FROM WEATHER AND SHALL BE INSTALLED WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
9. CLEAN AND POLISH ALUMINUM MAILBOXES. STRAIGHTEN ALL BENT MAILBOXES AND FINISH MAILBOXES TO MATCH EXISTING FINISH.
10. EXISTING PAINTERS TO BE REPAIRED TO "LIKE NEW" CONDITION. PAINT NEW EXISTING PAINTERS TO MATCH EXISTING FINISH.
11. ALL EXISTING GLAZING TO BE REPAIRED AND MATCHED TO EXISTING GLAZING.
12. ALUMINUM FACE OF NEW WALL WITH FACE OF EXISTING WALL OR COLUMN.
13. WALL MOUNTED TV OR BRACKET PROVIDE 3/4" FIRE RETARDANT FIBERBOARD TO MATCH EXISTING WALL FINISH.
14. BLOCKING IN WALL PROVIDE POWER / DATA / CABLE TRAYS TO MATCH EXISTING WALL FINISH.
15. ALL NEW ELECTRICAL SHALL BE INSTALLED TO MATCH EXISTING ELECTRICAL SYSTEM.
16. ALL NEW ELECTRICAL SHALL BE INSTALLED TO MATCH EXISTING ELECTRICAL SYSTEM.
17. NEW GLAZING SHALL BE EQUESTRIAN GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. ALL GLAZING SHALL BE PROTECTED FROM WEATHER AND SHALL BE INSTALLED WITH INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
18. NEW GLAZING SHALL BE EQUESTRIAN GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. ALL GLAZING SHALL BE PROTECTED FROM WEATHER AND SHALL BE INSTALLED WITH INSULATED GLASS AND PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
19. HISTORICAL EXECUTIVE SUITE MAIL ROOM SHALL WORK INCORPORATED INTO EXISTING EXECUTIVE SUITE MAIL ROOM.
20. INSTALL S4 S4 VADHED HISTORICAL WOOD PANELING ON NEW DRABING WALLS TO MATCH EXISTING FINISH.
21. EXTERIOR PRECAST DOOR PANELS TO BE FINISH SHIP APPLY CASUALTY AROUND DOOR PANELS TO MATCH EXISTING FINISH.
22. IF REQUIRED, INSTALL NEW SHOW CASE SYSTEM AND REINSTALL SALVAGED GLAZING TO MATCH EXISTING FINISH.
23. NEW ELEVATOR DUMBWHEELS/LIFT TO BE INSTALLED. EXISTING ELEVATOR CATCHERS TO BE RECREATED TO MATCH EXISTING FINISH.
24. ALL STAIR DOORS TO HAVE RECREATED SIGNAGE TO MATCH HISTORICAL SIGNAGE.
25. NEW CASWORK HARDWEAR IS TO BE INSTALLED.

01 THIRTEENTH FLOOR PLAN
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REV. ISSUE DATE
 REVISED PART 2 2021.12.13
 SUBMISSION

EXTERIOR
 ELEVATIONS

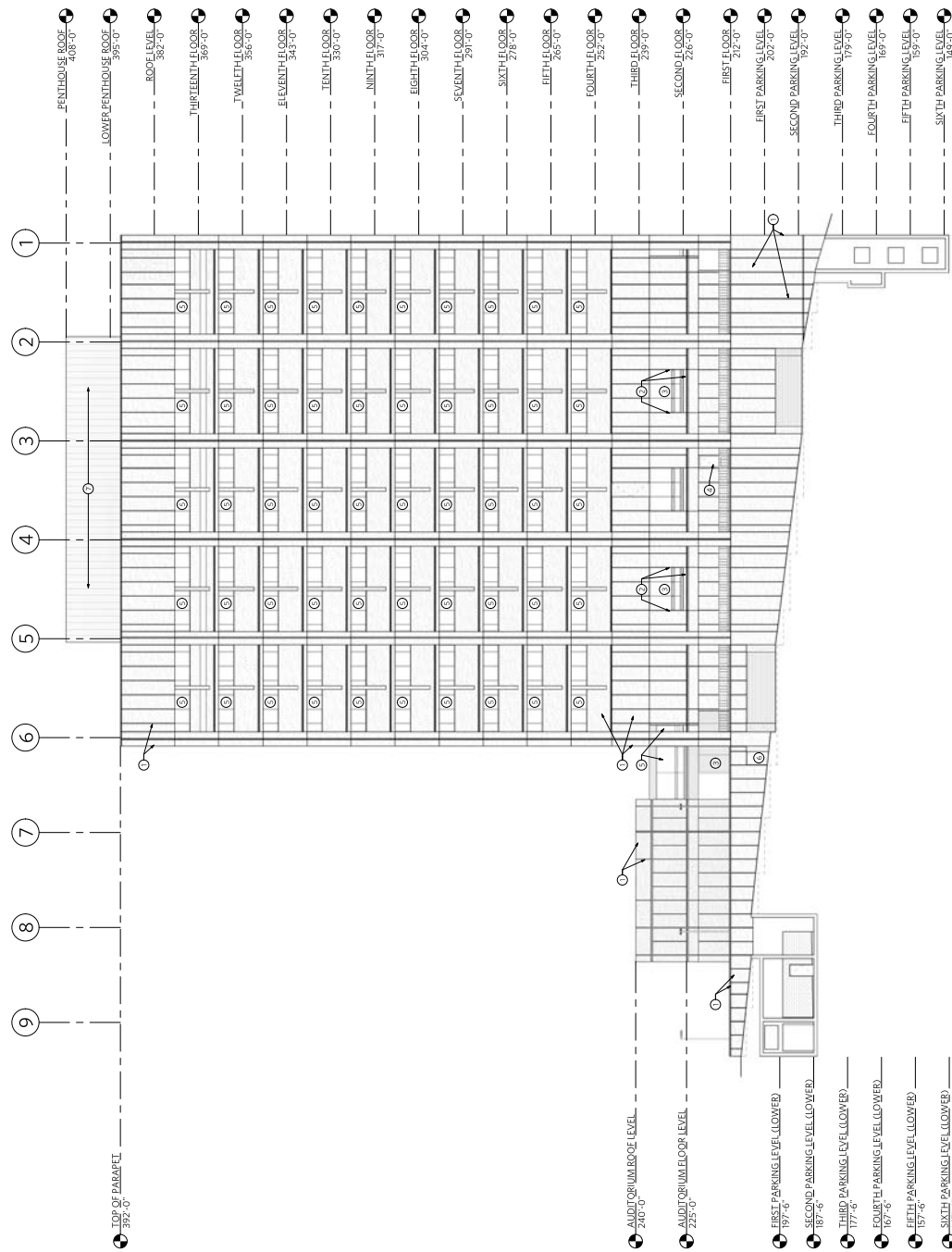
A200

EXTERIOR ELEVATION KEYNOTES

1. VERIFY ALL MATERIALS AND FINISHES TO MATCH ALL DAMAGED/REPLACED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND PANELS.
2. NEW PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
3. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
4. GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
5. STOREFRONT SYSTEM AS REQUIRED. PROVIDE AN ANODIZED ALUMINUM STOREFRONT SYSTEM WITH NEW BRONZE ANODIZED ALUMINUM GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. SEE DETAILS G2 & G4/AD03.
6. REPAIR EXISTING METAL PANEL GLAZING AND INTEGRAL MECHANICAL LOUVRES.
- 7.

GENERAL NOTES-EXTERIOR ELEVATION

- A. VERIFY ALL MATERIALS AND FINISHES TO MATCH ALL DAMAGED/REPLACED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND PANELS.
- B. VERIFY ALL MATERIALS AND FINISHES TO MATCH ALL DAMAGED/REPLACED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND PANELS.
- C. VERIFY ALL MATERIALS AND FINISHES TO MATCH ALL DAMAGED/REPLACED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND PANELS.
- D. MECHANICAL FASTENERS AND GLAZING REQUIREMENTS.
- E. MATCH OPENINGS TO BRICK PATTERN TO MODULE. ADJUST TRIM ACCORDINGLY.
- F. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- G. MATERIALS TO BE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR. NOT FINISHED FLOOR.



01 | EAST ELEVATION
 1/8" = 1'-0"

NOT FOR CONSTRUCTION

REV. ISSUE DATE
 REVISED PART 2 2021.12.13
 SUBMISSION

EXTERIOR
 ELEVATIONS

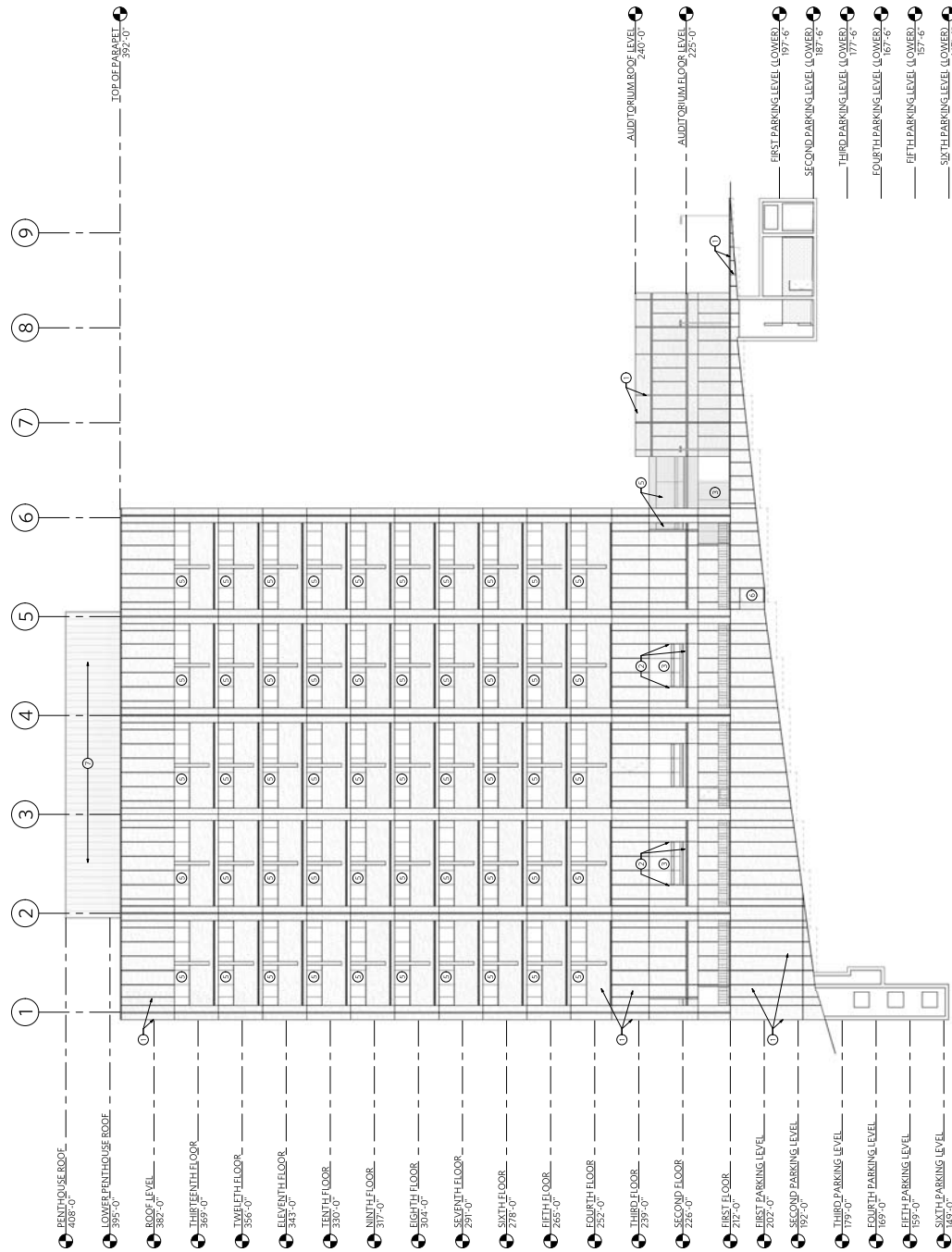
A201

EXTERIOR ELEVATION KEYNOTES

1. ALL GLAZING SHALL BE PERFORMED BY THE GLAZIERS. ALL DAMAGED UNGLAZED PANELS AS REQUIRED PROVIDE NEW SEALANT AND PANELS.
2. NEW PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING.
3. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
4. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
5. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. SEE DETAILS 03 & 04/ADDS.
6. REPAIR EXISTING METAL PANEL CLADDING AND INTEGRAL MECHANICAL LOUVRES.

GENERAL NOTES-EXTERIOR ELEVATION

- A. VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN THE DESIGN AND CONSTRUCTION OF ALL EXTERIOR OPENINGS. AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER SEALANT SEALANT TO MATCH ADJACENT FINISH. IF PRESENT, PRIOR TO APPLYING SEALANT.
- B. VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN THE DESIGN AND CONSTRUCTION OF ALL EXTERIOR OPENINGS. AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER SEALANT SEALANT TO MATCH ADJACENT FINISH. IF PRESENT, PRIOR TO APPLYING SEALANT.
- C. VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN THE DESIGN AND CONSTRUCTION OF ALL EXTERIOR OPENINGS. AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER SEALANT SEALANT TO MATCH ADJACENT FINISH. IF PRESENT, PRIOR TO APPLYING SEALANT.
- D. MECHANICAL FASTENERS AND GROUNDING REQUIREMENTS.
- E. MATCH OPENINGS TO BRICK VENDOR TO MODULE. ADJUST TRIM ACCORDINGLY.
- F. VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN THE DESIGN AND CONSTRUCTION OF ALL EXTERIOR OPENINGS. AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER SEALANT SEALANT TO MATCH ADJACENT FINISH. IF PRESENT, PRIOR TO APPLYING SEALANT.
- G. VERIFY ALL CONDITIONS AND MATERIALS TO BE USED IN THE DESIGN AND CONSTRUCTION OF ALL EXTERIOR OPENINGS. AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER SEALANT SEALANT TO MATCH ADJACENT FINISH. IF PRESENT, PRIOR TO APPLYING SEALANT.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR. NOT FINISHED FLOOR.



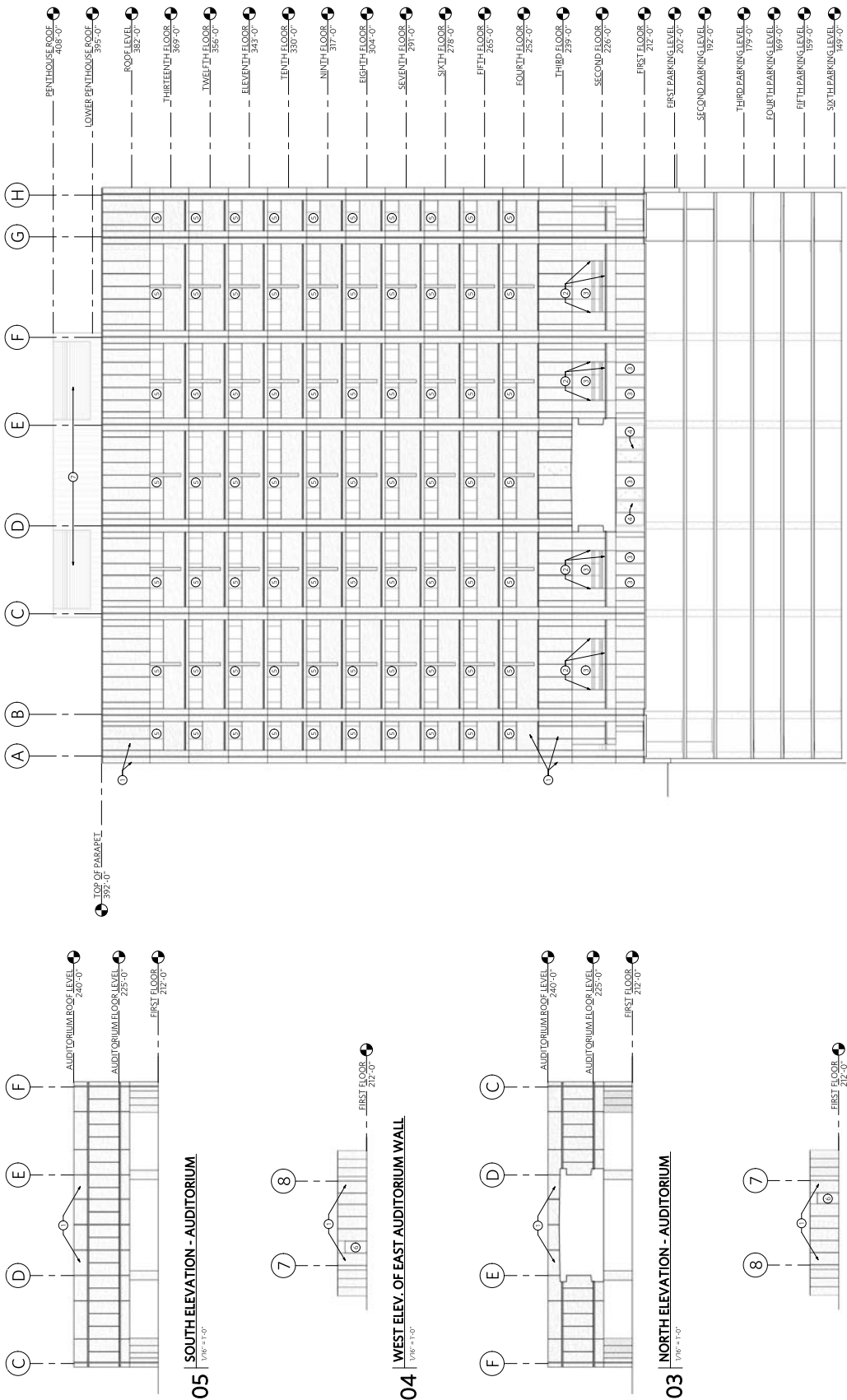
01 | WEST ELEVATION
 1/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

1. NEW PRECAST CONCRETE PANELS AT SILL AND SIDE WALL TO MATCH EXISTING PANELS. DAMAGED UNGLAZED PANELS AS REQUIRED. PROVIDE NEW SEALANT AND REPAIR EXISTING SEALANT.
2. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
3. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
4. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM.
5. NEW BRONZE ANODIZED ALUMINUM STOREFRONT GLAZING SYSTEM WITH INSULATED GLASS FRAME PROFILE AND FINISH TO MATCH EXISTING SYSTEM. SEE DETAILS G3 & G4 FOR ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR LOUVER.
6. REPAIR EXISTING METAL PANEL GLAZING AND INTEGRAL MECHANICAL LOUVER.

GENERAL NOTES-EXTERIOR ELEVATION

- A. VERIFY ALL MATERIALS AND FINISHES TO ARCHITECT. ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON THIS DRAWING SHALL BE RESOLVED BY THE ARCHITECT.
- B. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURER'S RECOMMENDATIONS. CONFIRM RESTORATION WATER SEALANT - SEALANT TO MATCH ADJACENT FINISH. PROVIDE FINISH TO ARCHITECT.
- C. SYSTEM MINIMUM OF 2" ABOVE OPENING AND TO ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS AND GROUNDING REQUIREMENTS.
- D. MATCH OPENINGS TO BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
- E. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- F. MECHANICAL FASTENERS TO BE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- G. MECHANICAL FASTENERS TO BE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- H. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR LOUVER.



05 | SOUTH ELEVATION - AUDITORIUM
 1/16" = 1'-0"

04 | WEST ELEV. OF EAST AUDITORIUM WALL
 1/16" = 1'-0"

03 | NORTH ELEVATION - AUDITORIUM
 1/16" = 1'-0"

02 | EAST ELEV. OF WEST AUDITORIUM WALL
 1/16" = 1'-0"

AT&T BUILDING MULTIFAMILY
 500 EAST 8TH ST
 KANSAS CITY, MO

NOT FOR CONSTRUCTION

REV. ISSUE DATE
 REVISED PART 2 2021.12.13
 SUBMISSION

EXTERIOR ELEVATIONS

A202

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

- A. MAP
- B. DEVELOPMENT SCHEDULE
- C. DESIGN PLANS
(FORTHCOMING)
- D. DEVELOPER INFORMATION
& PRINCIPAL BIOS**
- E. FINANCIAL INFORMATION

Mr. Adam Bernstein

President and Chief Executive Officer

Adam K. Bernstein, age 58, is President of The Bernstein Companies (“TBC”). As President of The Bernstein Companies, he is a recognized leader in real estate development, investment and management in the Mid-Atlantic region. Since becoming President in 1997 Mr. Bernstein has led the strategic growth of The Bernstein Companies into a diversified organization with expertise across asset classes where TBC invests in and operates office, hotel and multifamily properties. The Bernstein Companies have had direct ownership interest in transactions totaling over \$2 billion, both through institutional investment funds and TBC’s own private portfolio. In addition, the company has built a structured financed group that focuses on tax credit syndication and project finance for community development projects nationwide. Mr. Bernstein has been responsible for forging many successful ventures with investors and has built an institutional yet nimble organization that prides itself on its investing and operating track record. Adam brings his deep value philosophy to the Company’s investments through his daily involvement in the portfolio and his direction of the Company’s senior executives and managers.



Mr. Bernstein is an Independent Director on the Boards of PennantPark Investment Corporation and PennantPark Floating Rate Capital, Ltd., two NASDAQ traded business development companies that focus on investment in middle-market companies by providing creative financing solutions. Adam also stays active in the civic endeavors through his board participation with the Bernstein Family Foundation, Most Valuable Kids, and Team Turnaround, a non-profit that helps promote equality in education in underserved communities.

Adam earned his Bachelor of Science degree from The Wharton School in 1985 and remains actively involved in the university. Adam formerly served as the President of the Mid-Atlantic Regional Advisory Board and was appointed to the Board of Overseers of the School of Arts and Sciences in 2013. Through these roles, Adam has contributed to the strong ties the university holds with the Washington, D.C. region.

Mr. Joe Galli

Executive Vice President and Chief Investment Officer



Joseph S. Galli, is an Executive Vice President and Chief Investment Officer of The Bernstein Companies. Joseph S. Galli, as Executive Vice President and Chief Investment Officer, has been with The Bernstein Companies (TBC) since 1989 and has played an integral part in TBC's growth and diversification into a fully integrated real estate company involved in direct investment, joint-venture participation, development, and financing of commercial real estate, on a local and national scale. Mr. Galli helped to launch the company's series of equity funds, providing critical knowledge, keen intellect, and unique foresight to the investment decisions, and repositioning of assets acquired by these new ventures. Joe is also a Managing Director of TBC's structured finance group where its tax credit syndication transactions are credited with creating nearly 4,000 jobs and providing nearly \$3 billion of private additional investment to disadvantaged communities. This portfolio extends over a range of categories encompassing Historic, New Market and Renewable Energy Tax Credits.

Mr. Galli is a 1985 graduate of The Wharton School, University of Pennsylvania, and he has spearheaded fundraising and lobbying efforts to combat Autism on behalf of "Cure Autism Now" and "Autism Speaks." He is currently Chairman of the Government Relations Committee for the Washington D.C. chapter of Autism Speaks.

Mr. Philip Aftuck

Director – Investments

Philip M. Aftuck, is Director of Investments at The Bernstein Companies. Phil oversees the acquisition and development of primarily conversion opportunities specifically ones which are considered historic by the National Parks Service. Since joining TBC in 2012, Phil has overseen the conversion of over 1 million square-feet of office space into class A multifamily assets creating over 1,100 new apartment units across the Country. Phil also oversees the capital markets platform at TBC from which he maintains a diverse relationship of institutional lenders who have provided TBC debt financing, joint venture, and tax credit equity.



Phil previously worked at PricewaterhouseCoopers as a consultant in the Structured Finance and Real-Estate group.

He is a graduate of The George Washington University, School of Business and President Emeritus of The Georgia State Society of Washington, D.C.

500 E. 8th Street – AT&T Building

EDC Redevelopment Project Application

ATTACHMENTS

- A. MAP
- B. DEVELOPMENT SCHEDULE
- C. DESIGN PLANS
(*FORTHCOMING*)
- D. DEVELOPER INFORMATION
& PRINCIPAL BIOS
- E. FINANCIAL INFORMATION

500 E. 8th Street - AT+T Building
Budget

500 E. 8th Street	209,212	sf - Apartments
	30,000	sf - Coworking Space
	127,788	sf - Other/Amenity Space
	367,000	Total Building GSF
12/17/2021	265	units

DESCRIPTION	COSTS	COST PER GSF	COST PER UNIT	% of TDC	QRE %	QRE ELIGIBLE
Amenities	\$ 1,250,000	\$ 3.41	\$ 4,716.98	1.37%	0%	\$ -
Furniture, Gym Equip. & Fixtures	\$ 550,000	\$ 1.50	\$ 2,075.47	0.60%	20%	\$ 110,000
HVAC and Systems	\$ 2,870,000	\$ 7.82	\$ 10,830.19	3.15%	100%	\$ 2,870,000
Elevator	\$ 2,300,000	\$ 6.27	\$ 8,679.25	2.52%	100%	\$ 2,300,000
Envir/Demo	\$ 7,253,000	\$ 19.76	\$ 27,369.81	7.95%	100%	\$ 7,253,000
New Fireproofing	\$ 1,735,000	\$ 4.73	\$ 6,547.17	1.90%	100%	\$ 1,735,000
Façade	\$ 250,000	\$ 0.68	\$ 943.40	0.27%	100%	\$ 250,000
General Contractor	\$ 38,350,000	\$ 104.50	\$ 144,716.98	42.03%	85%	\$ 32,597,500
Carry Cost	\$ 1,350,000	\$ 3.68	\$ 5,094.34	1.48%	65%	\$ 877,500
Hard Cost Contingency	10.0% \$ 5,590,800	\$ 15.23	\$ 21,097.36	6.13%	75%	\$ 4,193,100
Total Construction Costs	\$ 61,498,800	\$ 167.57	\$ 232,071	67.40%	85%	\$ 52,186,100
Sales Tax Exemption	\$ -	\$ -	\$ -	0.00%	85%	\$ -
Total Construction Costs (w/ Sales Tax Exemption)	\$ 61,498,800	\$ 167.57	\$ 232,070.94	67.40%	85%	\$ 52,186,100
Soft Costs (Detail)						
	Total	Cost per GSF	Cost per Unit	% of TDC		
Architect/Design	\$ 3,040,000	\$ 8.28	\$ 11,471.70	3.33%	100%	\$ 3,040,000
Engineering	\$ 922,482	\$ 2.51	\$ 3,481.06	1.01%	100%	\$ 922,482
Construction Consultant & Monitoring	\$ 552,900	\$ 1.51	\$ 2,086.42	0.61%	75%	\$ 414,675
Legal	\$ 150,000	\$ 0.41	\$ 566.04	0.16%	0%	\$ -
Marketing, Advertising, Preleasing	\$ 45,000	\$ 0.12	\$ 169.81	0.05%	0%	\$ -
Misc.	\$ 25,000	\$ 0.07	\$ 94.34	0.03%	15%	\$ 3,750
Permits	\$ 85,000	\$ 0.23	\$ 320.75	0.09%	100%	\$ 85,000
Tax Credits Consulting & Legal	\$ 65,000	\$ 0.18	\$ 245.28	0.07%	0%	\$ -
Tax Abatement Consulting & Fees	\$ 336,244	\$ 0.92	\$ 1,268.84	0.37%	0%	\$ -
Soft Cost Contingency	10.0% \$ 488,538	\$ 1.33	\$ 1,843.54	0.54%	25%	\$ 122,135
Total	\$ 5,710,164	\$ 15.56	\$ 21,547.79	6.26%	80%	\$ 4,588,042
Acquisition						
Purchase Price	\$ 13,000,000	\$ 35.42	\$ 49,057	14.25%	0%	\$ -
Closing Costs	\$ 487,500	\$ 1.33	\$ 1,840	0.53%	0%	\$ -
Total Acquisition	\$ 13,487,500	\$ 36.75	\$ 50,896.23	14.78%	0%	\$ -
Developer Fee	\$ 3,110,415	8.48	\$ 11,737.42	3.41%	100%	\$ 3,110,415
Financing						
Construction Interest Reserve	\$ 5,500,985	\$ 14.99	\$ 20,758	6.03%	100%	\$ 5,500,985
State HTC Issuance Fee	\$ 660,460	\$ 1.80	\$ 2,492	0.72%	100%	\$ 660,460
Operating Reserve	\$ 1,279,551	\$ 3.49	\$ 4,828	1.40%	0%	\$ -
Financing	\$ 7,440,996	\$ 20.28	\$ 28,079	8.15%	83%	\$ 6,161,445
TOTAL DEVELOPMENT COST	\$ 91,247,875	\$ 248.63	\$ 344,332	100.00%	72%	\$ 66,046,002

500 E. 8th Street – AT&T Building

Sources & Uses

Sources

Construction/Permanent Loan	\$ 43,049,160
Historic Preservation Tax Credit Equity	\$ 23,842,607
Developer Equity (Land/Cash)	\$ 24,356,108

Total \$ 91,247,875

Uses

Acquisition	\$ 13,475,500
Construction	\$ 61,498,800
Soft Costs	\$ 5,710,164
Financing	\$ 7,440,996
Developer Fee	\$ 3,110,415

Total \$ 91,247,875

500 E. 8th Street - AT+T Building
Budget

500 E. 8th Street	209,212 sf - Apartments
	30,000 sf - Coworking Space
	127,788 sf - Other/Amenity Space
	367,000 Total Building GSF
12/15/2021	250 units

DESCRIPTION		COSTS	COST PER GSF	COST PER UNIT	% of TDC	QRE %	QRE ELIGIBLE
Amenities		\$ 1,250,000	\$ 3.41	\$ 5,000.00	1.41%	0%	\$ -
Furniture, Gym Equip. & Fixtures		\$ 550,000	\$ 1.50	\$ 2,200.00	0.62%	20%	\$ 110,000
HVAC and Systems		\$ 2,870,000	\$ 7.82	\$ 11,480.00	3.23%	100%	\$ 2,870,000
Elevator		\$ 2,300,000	\$ 6.27	\$ 9,200.00	2.59%	100%	\$ 2,300,000
Envir/Demo		\$ 7,253,000	\$ 19.76	\$ 29,012.00	8.17%	100%	\$ 7,253,000
New Fireproofing		\$ 1,735,000	\$ 4.73	\$ 6,940.00	1.95%	100%	\$ 1,735,000
Façade		\$ 250,000	\$ 0.68	\$ 1,000.00	0.28%	100%	\$ 250,000
General Contractor		\$ 36,425,000	\$ 99.25	\$ 145,700.00	41.03%	85%	\$ 30,961,250
Carry Cost		\$ 1,350,000	\$ 3.68	\$ 5,400.00	1.52%	65%	\$ 877,500
Hard Cost Contingency	10.0%	\$ 5,398,300	\$ 14.71	\$ 21,593.20	6.08%	75%	\$ 4,048,725
Total Construction Costs		\$ 59,381,300	\$ 161.80	\$ 237,525	66.90%	85%	\$ 50,405,475
Sales Tax Exemption		\$ -	\$ -	\$ -	0.00%	85%	\$ -
Total Construction Costs (w/ Sales Tax Exemption)		\$ 59,381,300	\$ 161.80	\$ 237,525.20	66.90%	85%	\$ 50,405,475
Soft Costs (Detail)		Total	Cost per GSF	Cost per Unit	% of TDC		
Architect/Design		\$ 3,040,000	\$ 8.28	\$ 12,160.00	3.42%	100%	\$ 3,040,000
Engineering		\$ 890,720	\$ 2.43	\$ 3,562.88	1.00%	100%	\$ 890,720
Construction Consultant & Monitoring		\$ 552,900	\$ 1.51	\$ 2,211.60	0.62%	75%	\$ 414,675
Legal		\$ 150,000	\$ 0.41	\$ 600.00	0.17%	0%	\$ -
Marketing, Advertising, Preleasing		\$ 45,000	\$ 0.12	\$ 180.00	0.05%	0%	\$ -
Misc.		\$ 25,000	\$ 0.07	\$ 100.00	0.03%	15%	\$ 3,750
Permits		\$ 85,000	\$ 0.23	\$ 340.00	0.10%	100%	\$ 85,000
Tax Credits Consulting & Legal		\$ 65,000	\$ 0.18	\$ 260.00	0.07%	0%	\$ -
Tax Abatement Consulting & Fees		\$ 328,800	\$ 0.90	\$ 1,315.20	0.37%	0%	\$ -
Soft Cost Contingency	10.0%	\$ 485,362	\$ 1.32	\$ 1,941.45	0.55%	25%	\$ 121,340
Total		\$ 5,667,782	\$ 15.44	\$ 22,671.13	6.39%	80%	\$ 4,555,485
Acquisition							
Purchase Price		\$ 13,000,000	\$ 35.42	\$ 52,000	14.65%	0%	\$ -
Closing Costs		\$ 487,500	\$ 1.33	\$ 1,950	0.55%	0%	\$ -
Total Acquisition		\$ 13,487,500	\$ 36.75	\$ 53,950.00	15.19%	0%	\$ -
Developer Fee		\$ 3,011,171	8.20	\$ 12,044.68	3.39%	100%	\$ 3,011,171
Financing							
Construction Interest Reserve		\$ 5,316,564	\$ 14.49	\$ 21,266	5.99%	100%	\$ 5,316,564
State HTC Issuance Fee		\$ 639,280	\$ 1.74	\$ 2,557	0.72%	100%	\$ 639,280
Operating Reserve		\$ 1,263,171	\$ 3.44	\$ 5,053	1.42%	0%	\$ -
Financing		\$ 7,219,015	\$ 19.67	\$ 28,876	8.13%	83%	\$ 5,955,844
TOTAL DEVELOPMENT COST		\$ 88,766,767	\$ 241.87	\$ 355,067	100.00%	72%	\$ 63,927,975

