ATTN: Project Manager: _____ **Date:** _____

EXHIBIT 5D
LCRA 12/18/19

ECONOMIC DEVELOPMENT CORPORATION

For any project seeking assistance through the following agencies, a completed application form must be provided. Those agencies include: Tax Increment Financing Commission, Land Clearance for Redevelopment Authority, Port Authority, and Planned Industrial Expansion Authority, Chapter 353.

REDEVELOPMENT PROJECT APPLICATION

➢ Application must be submitted electronically.

If more space is required for response to any question, please attach additional sheet(s).

1. APPLICANT INFORMATION

Applicant/Organization Name: Steele Blue Eagle LLC

Business Address: 6875 E. Evans Ave

Contact Person: Deb Quinlan

E-Mail Address: dquinlan@steelellc.com

Phone: 720-749-3205 Fax: _____

Address (if different than business address) _____

Attorney for Applicant: Diane Corbett - Applegate & Thorne-Thomsen

Attorney's Address: 425 S. Financial Place, Suite 1900, Chicago, IL 60605

Attorney's Phone: 312-491-4401

2. LOCATION OF THE PROJECT

General Boundaries: _____

Legal Description Attached:

Tracts I and II - Blue Rock Apartments

Tracts III, IV, and V - Eagle Rock Apartments

County: Jackson Council District: 3

Total Acreage: 2.398

Is the project located in any incentive areas? Urban Renewal Area; Continually Distressed Area

East of Troost Avenue

What is the current zoning of the project area? Residential

What is the proposed zoning for the project area? Residential

If a zoning change is pending, cite application number and present status. If application has not been made, briefly describe what change will be needed and plans for submitting application:

Land Use Plan _____ Need for Modification _____

3. THE PROJECT

Provide a detailed narrative description of the proposed project, including information as the size of the project, amount of land (property) to be purchased, whether the project is a rehabilitation of existing structure(s), expansion, or the construction of a new facility, residences, etc. Describe what products or services are to be manufactured or provided through this project.

➢ ☐ New Construction ■ Rehab/Expansion ■ Residential ☐ Commercial ☐ Industrial

➢ ☐ Single Family/Duplex ■ Multifamily ☐ Retail ☐ Mixed Use ☐ Office

See attached narrative.

Square footage: 53,260

No. of dwelling units 82 No. of hotel rooms 0 No. of parking spaces 124

List any nationally or locally historical properties and/or districts within the Project Area.
(Contact the City Landmarks Commission at (816) 513-2902 for information regarding local and national historical properties and/or districts)

N/A

NUMBER OF JOBS

☐ Created _____ Average Salary: $ _____

■ Retained 4 Average Salary: $ 39,750/yr

☐ Relocated _____ Average Salary: $ _____

☒ Construction jobs 45 Average Salary: $ 45/hr

Projected real property investment. $4,000,000

Projected personal property investment. $20,000

Will there be the use of federal or state incentives for this project? Which incentives and how much is being sought?

Federal 4% Low Income Housing Tax Credit Proceeds - $3,023,943

State the need for an incentive (i.e., competitive pressures of the location, need for remediation of blight in proximity to the Project, addition of jobs to a high unemployment area, etc.)

See attached narrative.

4. PROJECT COSTS

Identify the costs reasonably necessary for the acquisition of the site and/or construction of the proposed Project together with any machinery and equipment in connection therewith, including any utilities hook-up, access roads, or appurtenant structures.

Fair Market Value of Land: $410,000

Fair Market Value of Improvement $3,090,000 (based on purchase price)

Projected Assessed Value of the Land & Improvements Upon Completion:

Land - $77,900

Improvements - $322,316

5. CONTROL OF PROPERTY

If the Applicant owns the project site, indicate:

Date of Purchase

Sales Price

If the Applicant has a contract or option to purchase the project site, indicate:

Sales Price $3,500,000

Date purchase/option contract signed 10/28/2019

Closing/expiration date 6-30-2020/3-27-2021

If the Applicant will lease the project site, indicate:

Legal Name of Owner _____

Owner's Address _____

Owner of land upon completion of the Project _____

6. LAND ACQUISITION

For each Project Area, please provide the following:

- A map showing all parcels to be acquired
- Addresses and parcel numbers of all parcels to be acquired
- Current owners of all parcels to be acquired

Is the use of Eminent Domain anticipated? No

7. SOURCES OF FUNDS:

State amount and sources of financing for each Project costs listed above. Please provide commitment letters for any sources received listing terms and conditions.

SOURCE	AMOUNT
Tax-Exempt Financing (private-placement debt)	$ 7,710,000
Federal 4% LIHTC Proceeds	$ 3,023,943
Deferred Developer Fee	$ 220,039
NOI During Development	$ 230,872

8. DEVELOPMENT TEAM

Identify members of the development team and provide evidence of experience with other development projects.

Developer - Steele Properties III LLC (Steele Fact Sheet/Case Studies Attached); Architect - Benton Design Group (Resume Attached); General Contractor - Roanoke Construction (Experience Attached)

9. FINANCIAL INFORMATION

A. Budget – include a detailed breakdown of all hard and soft costs

B. Complete list of sources and uses of funds (indicate if you have received tax credits and secured other financing)

C. 10 year operating pro forma

- One that shows the project without any incentive assistance
- One that shows the project with requested incentive

The Pro forma should also include assumptions such as estimated lease rates, revenue assumptions, and expense assumptions.

D. If seeking TIF assistance, provide projections for PILOTS and EATS.

10. BOND FINANCING

Bond Financing is handled on a case-by-case basis.

11. REQUIRED ATTACHMENTS

- ***Attachment A*** A map showing the boundaries of the project.
- ***Attachment B*** A development schedule for the project, including the phasing of development and the locations and improvements to be accomplished in each phase.
- ***Attachment C*** Design plans for the project (including site plans & elevations), if available.

12. CERTIFICATION OF APPLICANT:

The undersigned hereby represents and certifies that to the best knowledge and belief of the undersigned, this project application contains no information or data, contained herein or in the attachments, that is false or incorrect, and that it is truly descriptive of the property for which this application is being made.

NAME: David Asarch

SIGNATURE:

TITLE: Authorized Representative

RETURN COMPLETED APPLICATION AND NON-REFUNDABLE APPLICATION FEE TO:

Economic Development Corporation
1100 Walnut, Suite 1700
Kansas City, Missouri 64106

ECONOMIC DEVELOPMENT CORPORATION

FOR INTERNAL USE ONLY

Assistance Project will be evaluated for with financial analysis:

- ☐ TIF
- ☐ LCRA
- ☐ PIEA/Chapter 353
- ☐ Chapter 100

Comments:

_____

_____

_____

_____

_____

_____

Advance KC Project Inquiry Meeting Date: _____

Score Card No. _____

Financial Analysis Review Committee: _____

EXHIBIT "A"

The land referred to herein is described as follows:

Tract I:

All of Lots 1, 2, and 3, except the West 103 feet thereof, measured at a right angle to the West line of said Lots, All of Lot 4, except the West 103 feet of the North 19.8 feet thereof; All of Lots 5 to 9, inclusive and all of the North 20 feet of Lot 10, All of said Lots being in Brighton Heights, an addition in Kansas City, Jackson County, Missouri, according to the recorded plat thereof.

Tract II:

All that part of Lots 22 and 23, Highview, an addition in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, described as follows: Beginning at a point on the West line of said Lot 23, which is 93.22 feet North of the Southwest corner thereof; thence Southeasterly along a straight line 141.33 feet, more or less, to a point on the West line of Quincy Avenue as now established, which is 102.5 feet North of the South line of said Lot 22, measured along said West line; thence North along the West line of said Quincy Avenue, 147.5 feet to the Northeast corner of Lot 22; thence Northwesterly along the Northerly line of said Lot 22 and Lot 23, 141.36 feet to the Northwest corner of Lot 23; thence South along the West line of said Lot 23, 156.78 feet to the Point of Beginning.

Tract III:

All of Lots 11, 12, and 13, Block 1, South Winfield Place, a subdivision of land in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, and the West 1/2 of a 15.0 foot alley vacated by City Ordinance No. 12737, all of Lots 8, 9, 10, 11, 12, 13, and 14, Block 2, said South Winfield Place, all of Lot 3, except the East 10.0 feet thereof, all of Lots 4 and 5, all in Block 3, said South Winfield Place.

Tract IV:

Lots 1, 2, 3, and 4, Graham Place, a subdivision of land in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, also a tract of land described as follows: Beginning 356.75 feet North 00 degrees 12 minutes 00 seconds West and South 89 degrees 46 minutes 49 seconds East, 180.00 feet from the Southwest corner of the Northwest Quarter of Section 3, Township 49 North, Range 33 West, Jackson County, Missouri, said point being the True Point of Beginning of the tract to be herein described, said point also being on the North right-of-way line of Peery Avenue; thence North 00 degrees 12 minutes 00 seconds West, 127.5 feet (deed) 128.40 feet (measured) to the centerline of a 15 foot wide alley partially vacated by City Ordinance No. 23993; thence East along said centerline, 19.67 feet; thence South 00 degrees 12 minutes 00 seconds East, 7.5 feet to a point on the South line of said 15 foot wide alley as shown on the recorded plat of the above referenced Graham Place; thence South 89 degrees 53 minutes 38 seconds East along said South line 35.33 feet to the Northwest corner of Lot 1, said Graham Place; thence South

Copyright 2006-2016 American Land Title Association. All rights reserved.
The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

00 degrees 12 minutes 00 seconds East 120.47 feet (deed) 121.02 feet (measured) to the Southwest corner of said Lot 1, said point also being on the North right-of-way line of the aforementioned Peery Avenue; thence North 89 degrees 46 minutes 49 seconds West along said North right-of-way line, 55.00 feet to the true point of beginning; except that part described as follows:

The South one-half of the following described tract, said tract being an alley vacated by Ordinance No. 130411.

Beginning at a point 15.00 feet West of the Southeast corner of Lot 6, Block 3, South Winfield Place, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof, said point being on the North line of the East-West alley next South of 11th Street; thence South and parallel to the East line of said Lot 6, a distance of 15.00 feet to the South line of said alley and the North line of Graham Place, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof; thence West along the South line said alley, a distance of 65.33 feet more or less to the Easterly boundary of vacated alley (Document No. B314146, Book B-5224, Page 173); thence North 15.00 feet to the North line of said alley; thence East along the North line of said alley, a distance of 65.33 feet more or less to the point of beginning.

And also except:

A tract of land described as follows: Commencing at the Southwest corner of the Northwest Quarter of Section 3, Township 49 North, Range 33 West, Kansas City, Jackson County, Missouri, thence North 00 degrees 12 minutes 00 seconds West along the West line of said Northwest Quarter, 356.75 feet; thence South 89 degrees 46 minutes 49 seconds East, 180.00 feet to a point on the North right-of-way line of Peery Avenue; thence North 00 degrees 12 minutes 00 seconds West, 120.90 feet to the South line of alley partially vacated by City Ordinance No. 23993 (Document No. B-314146, Book B-5224, Page 173) and the point of beginning; thence continuing North 00 degrees 12 minutes 00 seconds West, 7.50 feet to the centerline of said vacated alley; thence East along said centerline, 19.67 feet to the point of beginning.

Tract V:

Lot 36, Stewart's 3rd Addition, a subdivision in Kansas City, Jackson County, Missouri, according to the recorded plat thereof.

Assessor's Parcel Number (APN): 28-540-09-01-00-0-00-000

Copyright 2006-2016 American Land Title Association. All rights reserved.
The use of this Form (or any derivative thereof) is restricted to ALTA licensees and ALTA members in good standing as of the date of use. All other uses are prohibited. Reprinted under license from the American Land Title Association.

3. THE PROJECT

Narrative:

Blue Rock Apartments (currently known as Brighton Place Apartments, 32 units) and Eagle Rock Apartments (currently known as Winfield Place Apartments, 50 units) are located in Kansas City, Missouri zip code 64127. Herein referred to as "Blue/Eagle", the properties are located on a total of 3.73 acres (1.39 acres and 2.34 acres respectively) in a Continuously Distressed Area, East of Troost Avenue, and in an Urban Renewal Area. Blue/Eagle is in dire need of meaningful rehabilitation and modernization as many building components are well past their useful life. This rehabilitation will allow preservation of much-needed affordable housing in the Kansas City, Missouri area. Blue/Eagle has 100% project-based Section 8 contract, meaning the residents are generally below the 30% AMI threshold to be considered extremely low income.

We are requesting LCRA to allow for a sale/leaseback with a full property tax exemption and sales tax exemption for construction material. Ongoing annual property taxes will be exempt for the term of the affordability period.

As part of its acquisition, the Steele Blue Eagle LLC intends to perform approximately $4,162,000 in direct hard cost rehabilitation work including immediate repairs and contingency to improve the properties for a total of approximately $50,750 per unit. The rehabilitation is anticipated to be completed within 12 months of closing, and will focus on the following improvements:

1) repairing the building envelope to ensure preservation of low-income housing
2) installing critical security measures to improve safety for the residents
3) updating 5% of units and all common areas to comply with modern ADA standards
4) providing modern enhancements that will improve the building's aesthetic appeal and functionality for the tenants
5) upgrading to energy-efficient fixtures and LED lighting

The renovation will include the rehabilitation of all 82 units including five units to be converted to comply with ADA accessibility standards and two units to be converted to support hearing impaired tenants. Accessible ramps and rails will be installed in the parking area, and all common amenities will be accessible. Vinyl siding, roofs, gutters and downspouts, and windows will be replaced. Asphalt will be repaired. Units will receive drywall repairs and full unit paint. Bathrooms will be upgraded with necessary plumbing repairs, new low-flow fixtures and hardware. Lighting will be replaced throughout with high efficiency LED lighting. Finally, security enhancements will be installed to improve resident safety which will include lighting on the building exteriors, as well as a camera system to monitor activity across the property.

The purpose of this rehabilitation is to improve the quality of life for the tenants and also for the surrounding neighborhoods. We believe the improved security features and aesthetic appeal of the properties will help to encourage future development in the area. We are committed to helping the families and individuals who live at Blue/Eagle. We know that preservation of affordable housing is a top priority and believe the City's contribution will be well worth the investment for the long-term outlook of these properties.

State the Need for Incentive:

A property tax exemption will allow for a meaningful rehabilitation of low-income housing in a Continuously Distressed Area, East of Troost Avenue and in an Urban Renewal Area. The property tax exemption is worth approximately $1,030,000 to the project (through increased borrowing capability). These dollars will directly be used to improve the safety and quality of life for the tenants, as well as to preserve the affordable buildings. Below is a chart indicating how the investment is currently anticipated to be spent:

Site Security Features • Security cameras *$70,000* • Exterior LED lighting on all buildings *$30,000* • Perimeter fencing repairs *$25,000*	$125,000
Hard Cost Rehabilitation • New roofing with 20-year warranty and new vinyl siding *$575,000* *vital to protecting the buildings from detrimental leaks and other weather ailments; also improves the aesthetic appeal/blight of the neighborhood • New windows with security screens on first floor windows *$175,000* *Provides energy efficiency as well as improved protection and aesthetic appeal	$750,000
Additional Tax Exemption / Financing Fees	$155,000
TOTAL	**$1,030,000**

6. Land Acquisition

Current Owner:

Steele Brighton Winfield LLC

Addresses:

Blue Rock Apartments (Brighton Place Apartments):

- 2423 – 2429 Brighton Avenue Kansas City, MO 64127
- 2415 – 2421 Brighton Avenue Kansas City, MO 64127
- 5015 East 24th Street Kansas City, MO 64127

Eagle Rock Apartments (Winfield Place Apartments):

- 2601 – 2603 East 10th Street Kansas City, MO 64127
- 2610 East 11th Street Kansas City, MO 64127
- 1013 – 1017 Prospect Avenue Kansas City, MO 64127
- 913 – 917 Prospect Avenue Kansas City, MO 64127
- 2625 East 11th Street Kansas City, MO 64127
- 2700 Perry Avenue Kansas City, MO 64127

Parcels:

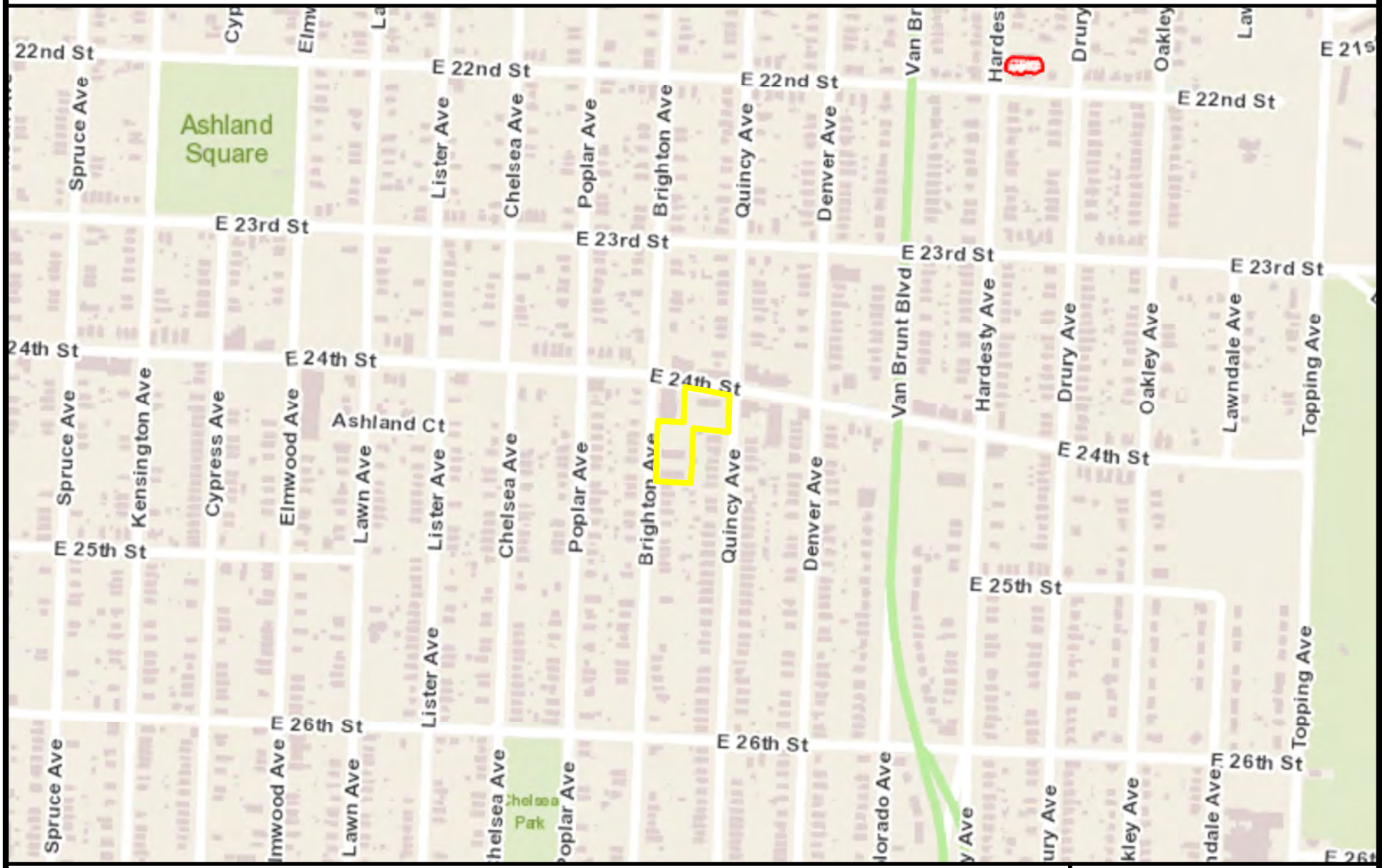
Blue Rock Apartments (Brighton Place Apartments):

- Parcel 28-540-09-01-00-0-00-000

Eagle Rock Apartments (Winfield Place Apartments):

- Parcel 28-320-22-17-00-0-00-000
- Parcel 28-320-22-32-00-0-00-000
- Parcel 28-320-21-24-00-0-00-000
- Parcel 28-320-31-28-00-0-00-000
- Parcel 28-320-33-01-00-0-00-000

My Map



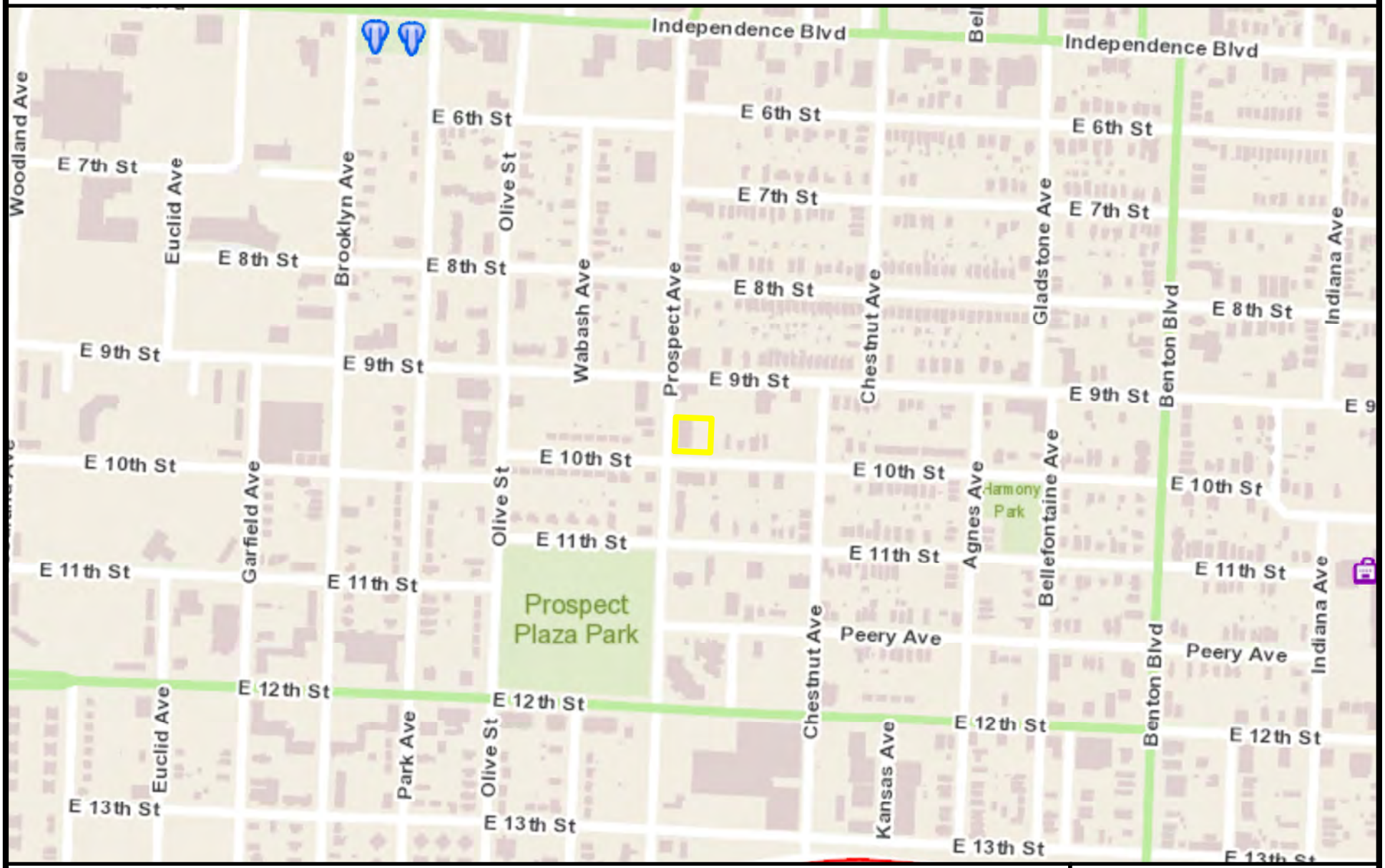
While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

My Map



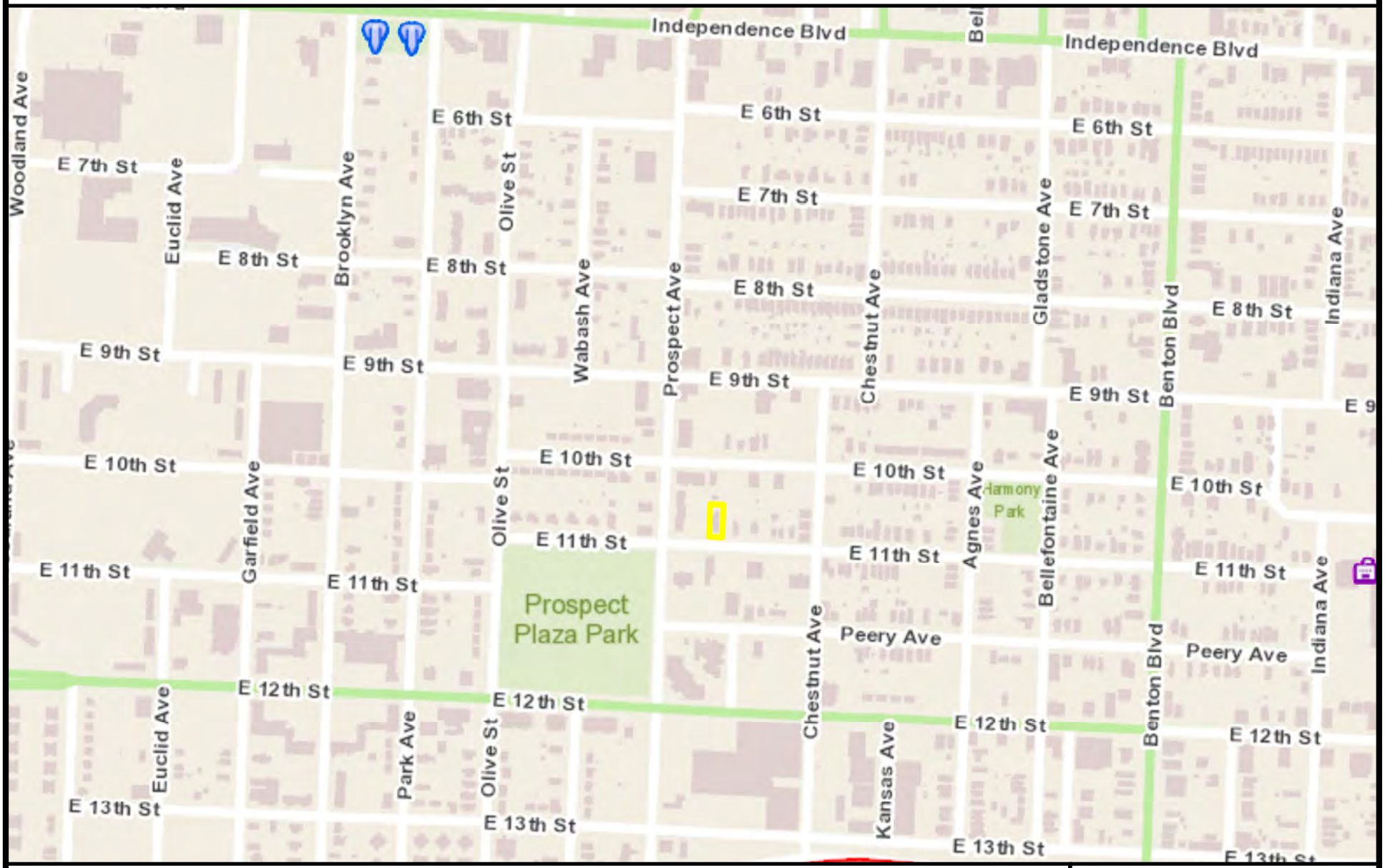
While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

My Map



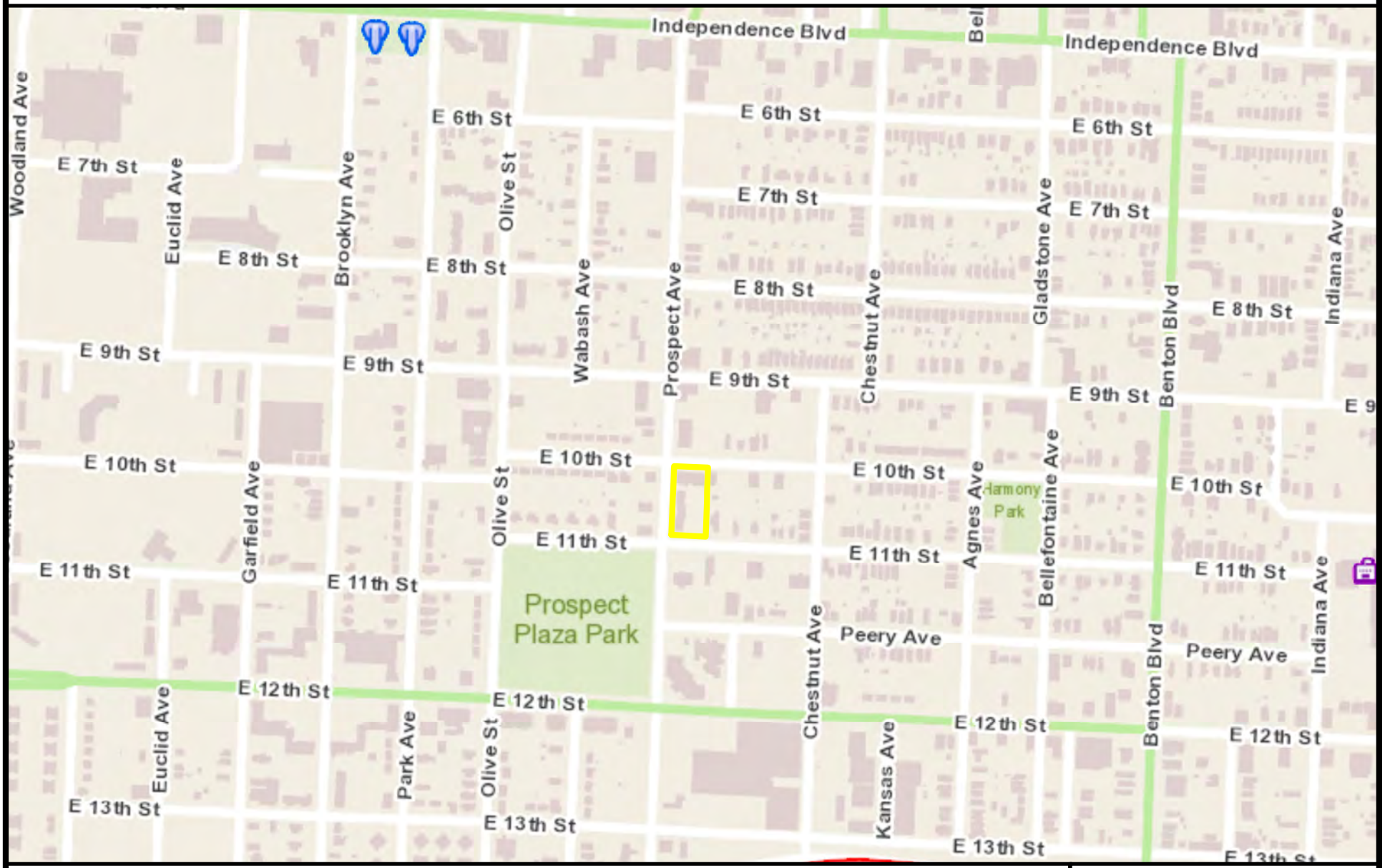
While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

My Map



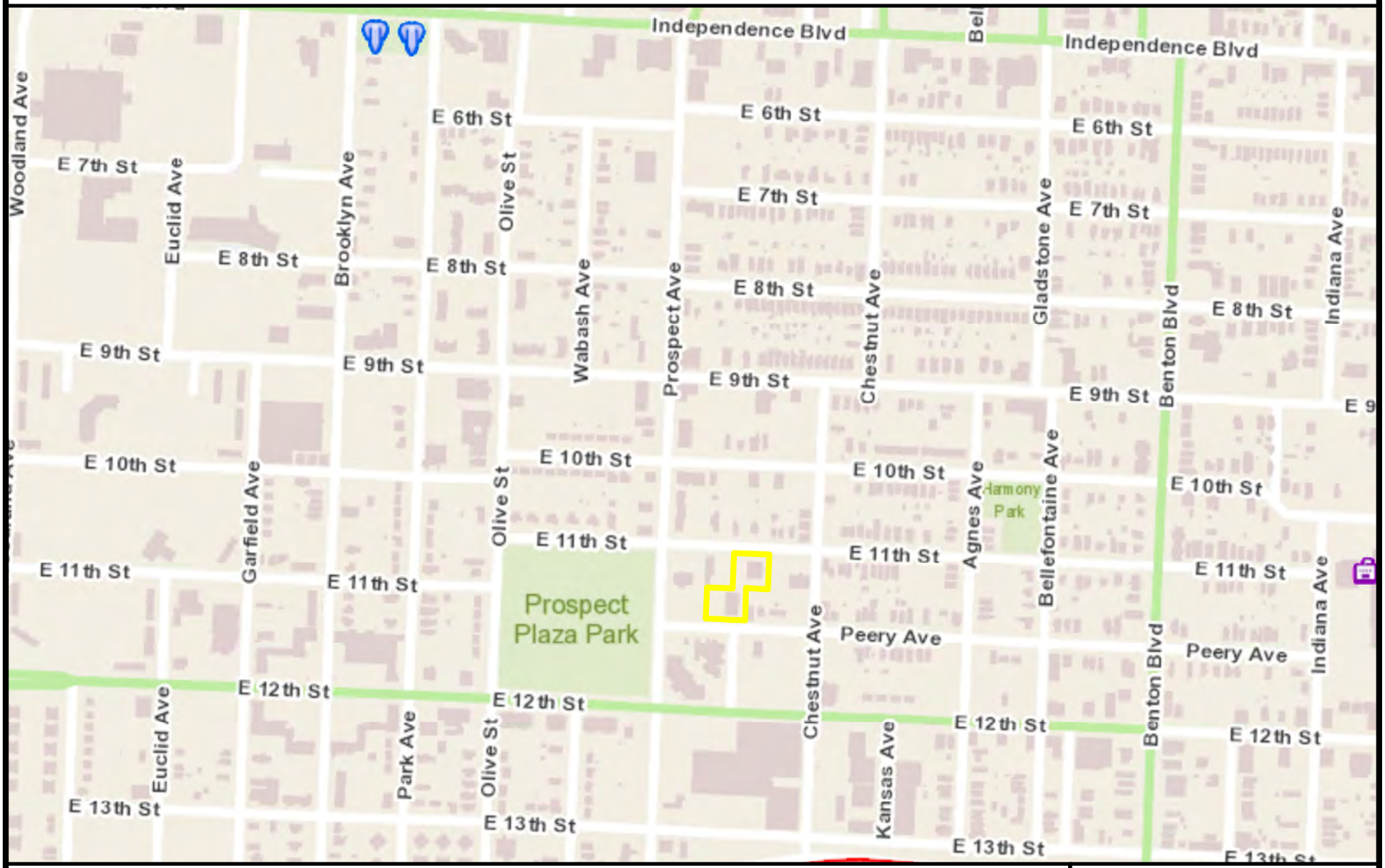
While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

My Map



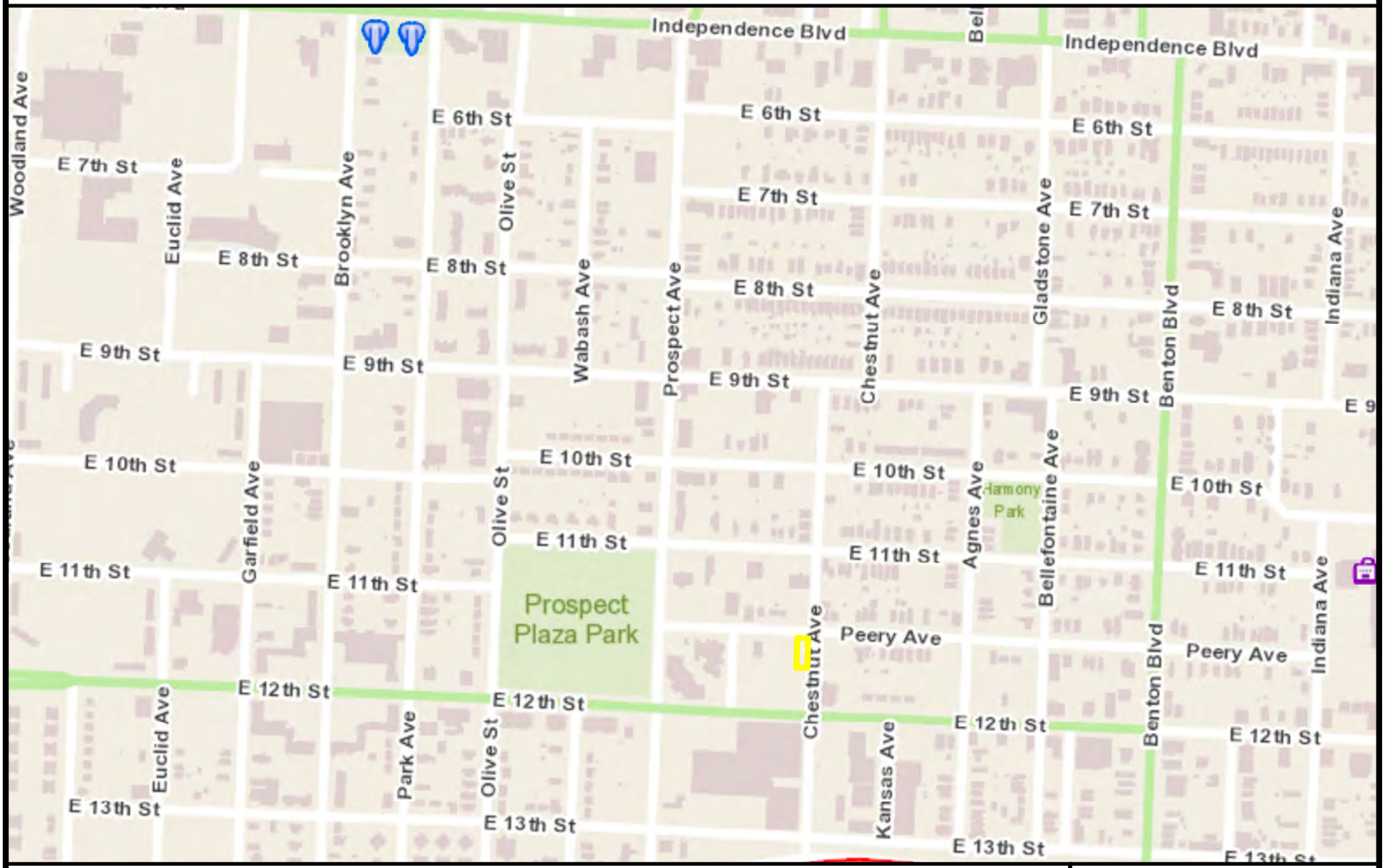
While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

My Map



While the City of Kansas City, Missouri makes every effort to maintain and distribute accurate information, no warranties and/or representations of any kind are made regarding information, data or services provided. In no event shall the City of Kansas City, MO, be liable in any way to the users of this data. Users of this data shall hold the City of Kansas City, MO harmless in all matters and accounts arising from the use and/or accuracy of this data. © 2019 City of Kansas City, Missouri.

0 370 740 Feet

N

Printed Date: 11/1/2019

BDG
Benton Design Group

Adam Pickett, AIA, NCARB
Principal

Qualifications
Adam is the founding principal of the design studio of the Benton Design Group, with experience in all types of residential and housing design, and a speciality in Low Income Housing Tax Credit multi-family projects. He has been responsible for the design and documentation of almost 5,000 multifamily dwelling units, almost 4,000 of which have implemented Low Income Housing Tax Credits throughout the country, in addition to projects including collegiate academic buildings, commercial projects and mixed-use developments.

Adam's strengths are found in his ability to work with the client from the schematic design phase, through construction documentation and develop a successful project through construction administration. Adam has found success in being a responsive, attentive and motivated architect that takes pride and ownership within the context of a project, and provides the service, standard of care and project delivery to ensure success during all phases.

Registration and Certifications
Missouri - Registration Number: A-2015015979
Colorado - License pending NCARB approval

Education
Bachelor of Architecture - 2004
Drury University - Springfield, Missouri

Project Experience
Hampshire Landing - Joplin, Missouri
Cezar Residence - St. Louis, Missouri
Touchette Senior Living - East St. Louis, IL
Besse Hotel Apartments - Pittsburg, KS
Mill Supply Apartments - Coffeyville, KS
1502 Michigan Place - Joplin, Missouri
Wilderness Trail Manor - Pineville, KY
Newton Senior Lofts - Newton, IA
Huntinburg Senior Lofts - Huntingburg, IN
Stratford Commons - St. Louis, MO
Berger Apartments - New Haven, CT
Packard Lofts - St. Louis, MO
Parkersburg Senior Lofts - Parkersburg, WV
Hollywoodland Apatments - Los Angeles, CA
Trestletree Village - Atlanta, GA
Delhaven Manor - Jackson, MS
Gary Manor Apartments - Gary, IN
702 S. Main Street Apartments - Joplin, MO
Carondelet School - St. Louis, MO
Eads Square Apartments - St. Louis, MO
Park Lofts at Huntington - Huntington, IN
The Tower Apartments - Watertown, SD
East Central Towers - Fort Wayne, IN
Motor Lofts - St. Louis, MO
East Armour Apartments - Kansas City, MO
Coca Cola Plant Lofts - St. Louis, MO

BDG
Benton Design Group

Company Background

The Benton Design Group (hereafter, BDG)is an architecture firm founded in O'Fallon, Missouri in 2015 by owner, Adam Pickett. We have focused our expertise on the design of all types of residential construction. Drawing upon the experience of designing thousands of residential dwelling units, spanning over twelve states, BDG prides itself on being an innovative and responsive team member on every one of our projects.

The various areas of design experience include custom single-family homes, dense affordable housing, senior living communities (both assisted and independent senior living projects), market-rate lofts and condominiums, historic adaptive re-use developments, mixed-use developments, new construction developments and acquisition rehabilitation projects.

Developing the philosophy of creating a harmonious relationship between client desires, budget constraints and appropriate design for every project, BDG strives to become intimately familiar with the locale, community and tenant demographic at every opportunity.

Areas of expertise include due diligence inspections of existing structures and properties, site studies, unit mix analysis, planning and zoning analysis, client representation in civic and communal forums, Physical Conditions Assessments and Physical Needs Assessments (PCAs and PNAs, respectively), construction documentation and construction administration.

BDG takes pride in creating design solutions that uphold marketability, while still being an advocate for the client from pre-design through construction administration. In a concentrated and well-coordinated effort in managing the design team, BDG leads the project from initial concept through successful completion. BDG's only gauge of success is client satisfaction.

BDG

Benton Design Group

Benton Design Group

913 Bullpen Drive, O'Fallon, MO 63366

Benton Design Group

Firm Profile

Benton Design Group is an architecture firm founded in O'Fallon, Missouri in 2015 by owner, Adam Pickett. We have focused our expertise on the design of all types of residential construction, drawing upon the experience of designing thousands of residential dwelling units, spanning over 12 states. BDG prides itself on being an innovative and responsive team member on every one of our projects.

The various areas of design experience include custom single-family homes, dense affordable housing, senior living communities (including assisted, independent and memory care facilities), market-rate lofts and condominiums, historic adaptive re-use developments, mixed-use developments, new construction developments and acquisition rehabilitation projects.

Developing the philosophy of creating a harmonious relationship between client desires, budget constraints and appropriate design for every project, BDG strives to become intimately familiar with the locale, community and tenant demographic at every opportunity.

Other areas of expertise include due diligence inspections of existing structures and properties, site studies, unit mix analysis, planning and zoning analysis, client representation in civic and communal forums, physical conditions assessments, physical needs assessments, construction documentation and construction administration.

BDG takes pride in creating design solutions that uphold marketability, while still being an advocate for the client from pre-design through construction administration. In a concentrated and well-coordinated effort in managing the design team, BDG leads the project from concept to successful completion. Our gauge of success is our clients satisfaction.

Respectfully,

Adam Pickett, AIA, NCARB
Principal

Adam Pickett

Architect | AIA | NCARB

Principal

Adam is the founding principal of Benton Design Group, with experience in all types of residential and housing design, and a specialty in Low Income Housing Tax Credit multi-family projects. He has been responsible for the design and documentation of almost 5,000 multifamily dwelling units, almost 4,000 of which have implemented Low Income Housing Tax Credits throughout the country, in addition to projects including collegiate academic buildings, commercial projects and mixed-use developments. Adam can't help but make his client's objectives his personal mission. Integrity, enthusiasm, and responsiveness mark his work. He has a way of quickly getting to the heart of any problem and devising practical solutions.

Bio

Adam is married to his wife Ashley. They live in O' Fallon, Missouri, and are always on the go with their two kids Blair and Raegan. Adam takes his leadership skills with him on and off the field when he isn't busy shaping young athletes into hard working young men as head coach for his sons football team.

Responsibilities

As the founding principal, Adam is responsible for providing primary leadership in vision, marketing, and individual service for our clients. Adam also oversees all projects in the office to make sure client satisfaction is being exceeded.

Credentials

American Institute of Architects
NCARB certified

Licensed architect in Missouri, Kansas, Texas, Connecticut, Maine, New York, Colorado, Alabama, North Carolina, South Carolina, Oklahoma, Tennesse, Wisconsin and Ohio

Education

Bachelor of Architecture | Drury University | 2004 | Minor in global studies
Drury University Greece Study Abroad Program
Pattonville High School | St. Louis, Missouri | 1999

Project Experience

Hampshire Landing - Joplin, Missouri
Hollywoodland Apatments - Los Angeles, CA
Cezar Residence - St. Louis, Missouri
Trestletree Village - Atlanta, GA
Touchette Senior Living - East St. Louis, IL
Delhaven Manor - Jackson, MS
Besse Hotel Apartments - Pittsburg, KS
Gary Manor Apartments - Gary, IN
Mill Supply Apartments - Coffeyville, KS
702 S. Main Street Apartments - Joplin, MO
1502 Michigan Place - Joplin, Missouri
Carondelet School - St. Louis, MO
Wilderness Trail Manor - Pineville, KY
Eads Square Apartments - St. Louis, MO
Newton Senior Lofts - Newton, IA
Park Lofts at Huntington - Huntington, IN
Huntinburg Senior Lofts - Huntingburg, IN
The Tower Apartments - Watertown, SD
Stratford Commons - St. Louis, MO
East Central Towers - Fort Wayne, IN
Berger Apartments - New Haven, CT
Motor Lofts - St. Louis, MO
Packard Lofts - St. Louis, MO
East Armour Apartments - Kansas City, MO
Parkersburg Senior Lofts - Parkersburg, WV
Coca Cola Plant Lofts - St. Louis, MO

Nikolas Chkautovich

Architect | AIA | NCARB

Senior Project Architect

Nik has considerable experience in Senior Living and managing multiple HUD/LIHTC-funded projects. Nik has been involved in a diverse range of architectural projects over the span of his career, which has enabled him to be an invaluable resource to our clients. He brings a wealth of knowledge from his extensive work in senior living, including independent living, assisted living and memory care facilities. In addition to senior living, Nik has also worked on a number of projects including master planning, college and university facilities, community centers, multi-family housing, sports and recreation facilities, historic adaptive reuse, urban infill, mixed-use development, and sustainable design projects.

Bio

Nik is married to his beautiful wife Rachel. They live in Fenton, Missouri, and love playing with their new baby boy, Luka. Nik is well traveled, an avid artist, and a proud member of St. Louis's vibrant Serbian community. His favorite Tennis player is, of course, Novak Djokovic. His philosophy is that "art, like architecture, forms and creates the environments around us."

Responsibilities

Nik is responsible for the production and management of projects from schematic design through construction administration. As the Senior Project Architect, he reviews projects for quality control to ensure that the work is being performed with the upmost diligence. His knowledge of the building codes and his ability to work with code officials and inspectors make him a key component to any successful project.

Credentials

American Institute of Architects
NCARB certified
Licensed Architect in Missouri

Education

Bachelor of Architecture | Drury University | 2009 | Minor in global studies
Drury University Greece Study Abroad Program
St. John Vianney High School | St. Louis, Missouri | 2004

Project Experience

Dougherty Ferry Senior Living - St. Louis, MO
Three Creeks Senior Living - Gahanna, OH
The Enclave at Cedar Park - Cedar Park, TX
Huntingburg Senior Lofts - Huntingburg, IN
Park Lofts at Huntington - Huntington, IN
Parkersburg Senior Lofts - Parkersburg, WV
Newton Senior Lofts - Newton, IA
The Arcade Building - St. Louis, MO
Jackson Creek Senior Living - Co. Springs, CO
Keokuk Senior Lofts - Keokuk, IA
Southridge Senior Lofts - Des Moines, IA
Washington University Rec Center - St. Louis, MO
SIUE Engineering Building - Edwardsville, IL
Miriam School Addition - St. Louis, MO
Colony Apartments – Columbia, SC
Rolling Hills Apartments – Winston Salem, NC
Summit Ridge Apartments – Birmingham, AL
Valley Brook Apartments – Birmingham, AL

Sami Al-Jureidini

Project Manager
Sami joined Benton Design Group in 2017 and brings with him a diverse skill set and knowledge of the architectural design and documentation process. He has been involved in a wide range of project types from small residential projects to managing multi-million dollar healthcare clinic renovations. His involvement in the architectural process covers all phases of design ranging from schematic design to construction administration. This wide range of experience has allowed him to become a well rounded architectural designer, with a passion for his client's vision and project satisfaction.

Bio
Residing in Affton, Missouri, Sami is married to his gorgeous and patient wife, Angi. They have an incredibly smart and loyal German Shepherd mixed dog that they love dearly. In Sami's free time he enjoys cooking, the art of pizza and bread making, playing guitar and piano, traveling, fishing, hunting, camping, floating and anything that involves getting together with family and friends. Architecture is not only his job but one of his many passions. He views architecture as a process and as a creative outlet that challenges him to think in new ways.

Responsibilities
Sami is responsible for the production and management of projects from schematic design through construction administration. He is also our expert in computer rendering and graphics.

Credentials
On track for licensure in the state of Missouri

Education
Masters of Architecture | University of Detroit Mercy | 2009
Lindbergh High School | St. Louis, Missouri | 2002

Project Experience
Vance AFB Healthcare Clinic - Enid, OK
Luke AFB Healthcare Clinic - Maricopa County, AZ
Moody AFB Healthcare Clinic - Lowndes County, GA
Tyndall AFB Healthcare Clinic - Panama City, FL
Holloman AFB Healthcare Clinic - Otero County, New Mexico
Lackland AFB Healthcare Clinic - San Antonio, TX
Whiteman AFB Healthcare Clinic - Kansas City, MO
SSM Health St. Mary's Hospital NICU Renovation - St. Louis, MO
Blessing Health System Education Center - Quincy, IL
Stephen and Peter Sachs Museum Addition at Missouri Botanical Garden - St. Louis, MO
Southeast Missouri State University Renovations - Cape Girardeau, MO
Academy of the Sacred Heart - St. Charles, MO
Drive Time Renovation - Ferguson, MO
Gastavus Adolphus College - St. Peter, MN
The Helmerich Research Center and Gilcrease National Archive - Tulsa, OK

Projects and References

Porter House Apartments-
Greeley, CO

Client: Steele Properties, LLC
6875 E. Evans Avenue
Denver, CO 80224

Porter House Apartments is a new multi-family housing complex that we are just now completing, it consists of one hundred (100) units within six (6) buildings; a community building with attached 1-bedroom units, and five (5) residential apartment buildings, located in Greeley, Colorado. The apartment buildings are 3-story, wood-frame, slab-on-grade with shallow concrete footings. The community building is a 1-story wood-frame construction and includes a lounge, community room, exercise room, computer lab, and a common laundry facility.

Projects and References

Summit Ridge Apartments -
Birmingham, AL

Client: Steele Properties, LLC
6875 E. Evans Avenue
Denver, CO 80224

Summit Ridge Apartments, located in Birmingham, Alabama, is an acquisition rehabilitation project. The apartment complex consists of two hundred (200) units in twenty-four (24) buildings on two (2) sites. Standard units received full unit interiors. The renovation also included two (2) accessible unit conversions, two (2) hearing and visually impaired units, a renovated leasing building, and a new community building with a laundry facility.

Projects and References

Colony Apartments -
Columbia, SC

Client: Steele Properties, LLC
6875 E. Evans Avenue
Denver, CO 80224

Colony Apartments, located in Columbia, South Carolina, is another aquisition rehabilitation project we just completed, which utilized low income housing tax credits. The apartment complex consists of three hundred (300) units in seventy-nine (79) buildings on one (1) site. All of the units are 2-bedroom units. The renovation also includes fifteen (15) accessible unit conversions, six (6) hearing and visually impaired units, a renovated community room and leasing office. The community room includes a computer lab, kitchen and lounge area. The leasing office includes the addition of a new office, new flooring throughout, as well as required updates for accessibility.

Projects and References

Valley Brook Apartments -
Birmingham, AL

Client: Steele Properties, LLC
6875 E. Evans Avenue
Denver, CO 80224

This project consists of the renovation of the Valley Brook Apartments, located in Birmingham, Alabama. The apartment complex consists of two hundred forty (240) units in eighteen (18) buildings on one (1) site. The renovation also includes twelve (12) accessible unit conversions, five (5) hearing and visually impaired units, and a new community building consisting of leasing offices, community room, computer lab, and a new laundry facility.

Current and Upcoming Projects:

Scott Manor, LP / Scott Manor Senior Apartments / St. Louis, MO / New construction of a 3-story 42-unit apartment building with commercial space on the first floor/ Rosemann & Associates Architects / $6.8 Million / Completion 2019

Finney Place, LP / Finney Place Home / St. Louis, MO / New construction development of 40 single family homes including a community building / Rosemann & Associates Architects / $8.4 Million / Completion 2020

Steele Nettleton, LLC / Nettleton Manor / Bonner Springs, KS / Renovation of a 76-unit senior apartment building with tenants remaining in place during the rehab / Benton Design Group / $2 Million / Completion 2019

Warsaw Senior Housing LP/ Warsaw Senior Housing / New Construction of 36 Senior Villas consisting of six (6) walk up apartment buildings with a mix of twelve (12) 1-bedroom and twenty-four (24) 2-bedroom affordable units including a clubhouse / Rosemann & Associates Architects / $4.3 Million / Completion April 2018

Friendship Manor Sr. Housing, LP/ Friendship Manor Renovations/Renovation of a 4-story pre-cast concrete building containing 54 non-ADA compliant 1-bedroom apartments and 6-ADA compliant 1-bedroom apartments. It will also have a new Community Room addition and new entrance addition / Alliance Architects / $5.7 Million / Completion May 2018

Sampling of Past Projects:

Charless Home Developer / Hart Development / Charless Home / St. Louis, MO / Historic renovation of a 47-unit former assisted living building and the new construction of a 3-story 24-unit apartment building / Rosemann & Associates Architects / $10.1 Million / Completion August 2017

Lake Ridge Senior LSL, LP / Lake Ridge Senior Apartments / Lake St. Louis, MO / New construction of a 3-story 49-unit apartment building / Rosemann & Associates Architects / $6.4 Million / Completion December 2016

Monroe Group / Union Sarah Apartments / St. Louis, MO / Historic renovation of 100 apartment units in five buildings / Rosemann & Associates Architects / $5 Million / Completion 2016

Monroe Group / Castle Park Apartments / Normandy, MO / Exterior renovation of 200 unit historic apartment complex

St. Louis County / Neighborhood Stabilization Program Renovations / St. Louis, MO / Interior and exterior renovation of scattered site homes throughout St. Louis County

McCormack Baron / Arlington Grove Apartments / St. Louis, MO / Exterior renovations of a Historic school building and new construction commercial and apartment buildings

Good Shepherd Children & Family Services / University City, MO / Renovation of a residential facility which provides housing and services to pregnant teens and teen mothers

Gateway 180::Homelessness Reversed / St. Louis, MO / Renovation of a Historic building utilized by Gateway 180 for its offices and a homeless shelter for women and children

Wellston Housing Authority / Phase II Renovations / Wellston, MO / Exterior renovations of 91 apartments

Bel-Nor Community of Christ Church / Renovation of an existing church / Bel-Nor, MO

STEELE PROPERTIES

FACT SHEET

MISSION

To preserve, improve, and increase needed affordable housing opportunities in communities across the country.

ABOUT

Steele Properties is a Denver-based national real estate investment company specializing in the acquisition, rehabilitation and new construction of affordable family and senior rental properties. *Steele Properties is currently ranked as one of the top ten companies for substantial rehabs by Affordable Housing Finance.* The company was formed in 2006 with the mission to preserve, improve and increase affordable housing opportunities for vulnerable communities across the country.

SUCCESS

Steele has successfully completed over $900 million in acquisitions, sales and development activity involving over 65 properties and more than 6,300 units, including over 60 tax credit projects. Most of the properties have undergone or are undergoing complex tax credit rehabilitations resulting in significantly improving the lives of residents across the company's expanding portfolio, which includes family and senior properties in 20 states.

HISTORY

Steele Properties was formed in 2006 as a partnership between Stuart Heller, Hud Karshmer and Chad Asarch to pursue affordable multifamily development and acquisition opportunities. With over 60 collective years of experience in affordable housing, the Principals of Steele Properties have a distinguished reputation for closing complex transactions and structuring winning solutions that meet the goals and objectives of all parties.

LEADERSHIP

Stuart Heller, Hud Karshmer and Chad Asarch are the company's Principals. David Asarch was appointed Partner and Chief Investment Officer in 2016. Together, they guide the company as it expands its' portfolio.

Steele Properties has successfully completed over $900 million in acquisitions, sales and development involving over 65 properties in 20 states and 6,300+ units, including over 60 tax credit projects.

PARTNERSHIPS

Steele Properties' success would not be possible without strong relationships with state, national and federal housing agencies, community leaders, local vendors, non-profit organizations, equity partners and lenders. Through its continual growth and reputable acquisition history, the company has cultivated strong partnerships resulting in a substantial development portfolio of properties.

CONTACT

6875 East Evans Avenue
Denver, CO 80224
303.226.9120

steelellc.com

STEELE PROPERTIES

Building Safer Communities: Case Studies

Steele Properties is proud of our work to improve the neighborhoods where we are developing and rehabilitating properties across the country.

We believe our investment builds a healthy, stable community and contributes to the success of our residents. Steele has a proven track record of improving neighborhood safety by working with local community groups and law enforcement agencies resulting in reduced crime and increased safety and security for our residents.

Trestletree Village

ATLANTA, GA

Trestletree Village is a Project Based Section 8 family community that consists of two complexes with 55 buildings and 188 units, Trestletree North and Trestletree South, both located in the Grant and Ormewood Park neighborhoods of Atlanta. Steele Properties invested $9 million in renovations including $210,000 in safety and security enhancements when the property was acquired and developed in 2013.

Prior to the safety improvements, there was heavy gang-related activity at the property including domestic violence, break-ins and shootings. The property management team was often threatened and did not feel safe at Trestletree, especially during the evening. Torrance Ashmon, an Atlanta Police Department officer and Trestletree security officer said, *"Trestletree staff safety was a huge concern for us. Officers would come back to the property after hours just to make sure that the staff was safe while leaving the premises."*

Steele Properties invested $210,000 in the following upgrades and property enhancements to increase resident safety and security:

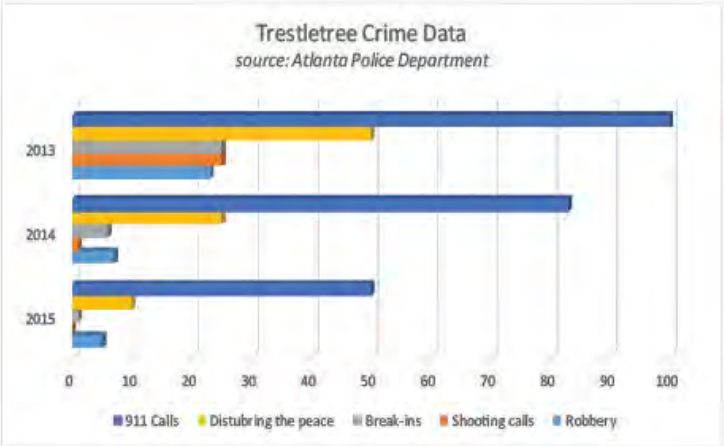
- Extensive exterior and interior renovations including new kitchens and bathrooms, new flooring, new lighting, new plumbing fixtures and new paint
- Improving site lighting with the installation of more light poles and LED lights to deter unwanted activity
- Installing a 46-camera surveillance system integrated with APD video system
- Installing controlled access gates into the property
- Implementing new parking policies and increased signage throughout the complex
- Partnering with the Atlanta Police Department to increase security patrols, and to prevent, monitor and deter unwanted activity
- Adding two new community centers to provide much needed services to residents including internet access
- Upgrading the property landscaping by removing old vegetation to improve visibility
- Removing improperly disposed of trash and debris

"I did not feel safe at all. There were many break-ins and a lot of shootings. There were times I had to lay on the floor to get out of the line of fire."

Melissa Brown
Trestletree Community Manager

Crime has dropped dramatically since Steele Properties acquired Trestletree. Thanks to these improvements and strong community partnerships, there has been a 62% drop in crime at Trestletree Village, as well as a 100% reduction in shooting calls, 96% reduction in unit break-ins, 80% reduction in disturbing the peace, and 50% reduction in 911 calls.

The following is a report from the Atlanta Police Department:



"I have seen a great improvement and I feel safe. I can walk outside without being fearful. There is a lot less crime, especially break-ins. I haven't been getting as many complaints or resident violations."

Melissa Brown
Trestletree Community Manager

Property management and security staff have seen significant improvements in safety after the addition of these security enhancements and upgrades. The addition of a controlled-access gate limiting vehicle traffic, and increased police presence significantly impacted crime reduction at Trestletree.

Local community groups in Atlanta also noticed the positive effects of Trestletree's security enhancements. *"I received several positive comments that criminal activity at Trestletree has quieted down. Also, there are fewer community complaints,"* explained Melissa, *"The NPU neighborhood groups are very happy about how crime has reduced in the area. They are pleased with the increased police presence and our security improvements at Trestletree."*

Monroe Group, our property management partner, continues to collaborate with local government, community and neighborhood groups, including the Faith Collaborative, to ensure the neighborhood remains safe and crime is deterred. The property management team also participates in quarterly open community meetings at City Hall to stay informed about local neighborhood issues.

"Since Trestletree has beefed up security, I have noticed at least a 10-15% reduction in crime. Our response time is much faster now. Violent crime has gone down. Residents definitely feel much safer because I see them coming out of their homes to interact with one another, and spend time outside."

Officer Torrance Ashmon
Atlanta Police Department and
Trestletree Security Officer

Castle Park Apartments

ST. LOUIS, MO

Steele Properties completed the rehabilitation of historic Castle Park, a 209-unit Project Based Section 8 family community, in late 2011 including significant safety and security upgrades.

Steele Properties invested $170,000 in security upgrades and property enhancements to increase resident safety and security:

- Upgrading the entire property by investing millions of dollars in rehabilitation and renovation
- Installing new surveillance cameras throughout the property
- Creating a single-entry point to access the property complex guarded by security staff
- Installing key card access system and residents ID program
- Implementing a restrictive building access policy
- Installing breach alarms to the exterior doors
- Implementing a strict visitor policy including visitor sign in and visitors accompanied by residents in order to enter the property
- Installing breach alarms to exterior doors to make sure they cannot be opened, unless it is an emergency
- Implementing a fire escape policy so that they can no longer be accessed, unless it is an emergency

"These improvements have made have made an enormous difference," explained Detective Greg Adams, *"The guarded entrance door and restricting access to one entry point have made a significant impact in reducing violence and property crime. The new cameras that were installed are much better than what we had before and allow us to better monitor the property. As a result, our response time is much faster now and we can quickly resolve a situation before it escalates."*

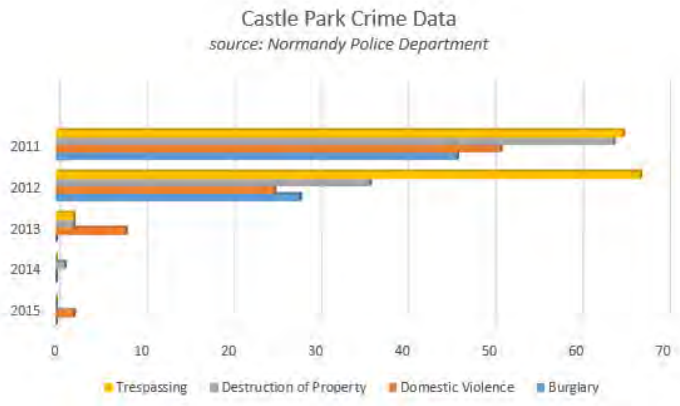
"I've worked at Castle Park for over ten years. Prior to the security improvements, there was a high volume of violations every week such as violent crimes and property break-ins. About 80% of crime was due to unwanted visitors. I personally have been injured responding to some violations here."

Greg Adams
Homicide Detective, Berkeley Police Department and Castle Park Security Officer

Residents feel much safer with the addition of security enhancements and increased security staff resulting in decreased resident violations and complaints. Castle Park Community Manager Melody Day commented, "*There's no doubt the security enhancements have made Castle Park safer. Prior to the improvements, the building had about 100 doors that were always propped open. Those doors are now shut and there is only one entrance door, which is now guarded. Our residents definitely appreciate the security staff and love the guest sign-in policy because now there are no unexpected and unwanted visitors.*"

Detective Adams commented on receiving excellent resident feedback, *"The vast majority of residents told me that the community is much safer and they are glad to live in a securer environment. Even outside visitors, especially the parents of residents who live here, have said they are very happy to see a police presence monitoring the premises."*

The following is a report from the Normandy Police Department:



Crime has dropped significantly since Steele Properties acquired Castle Park in 2011. Data from the Normandy Police Department shows a 100% drop in crime for trespassing, burglary and destruction of property. Domestic violence was reduced by 99%.

When a Castle Park resident safety and security survey was conducted after renovations were completed, 88% of responders felt that safety and security is much better now than prior to the property rehabilitation. The same 88% said they feel safer now. Residents commented that they are very happy to have the police sitting at the front of the property to monitor who comes into the building. They are glad to no longer have to worry about unwanted visitors.

Woodside Village Apartments

MCKINNEY, TX

Steele Properties completed a significant $5 million rehabilitation at Woodside Village, a 100-unit Project Based Section 8 family community located in McKinney, TX in 2013, including important safety and security upgrades.

Steele Properties invested $165,000 in security upgrades and property enhancements to increase resident safety:

- Upgrading the entire property by investing millions of dollars in rehabilitation and renovation
- Installing of new security cameras
- Upgrading security monitoring systems including installing a license plate camera
- Upgrading light poles
- Adding new security patrols by the McKinney Police Department to ensure resident safety
- Installing new light fixtures to improve lighting and visibility throughout the property complex

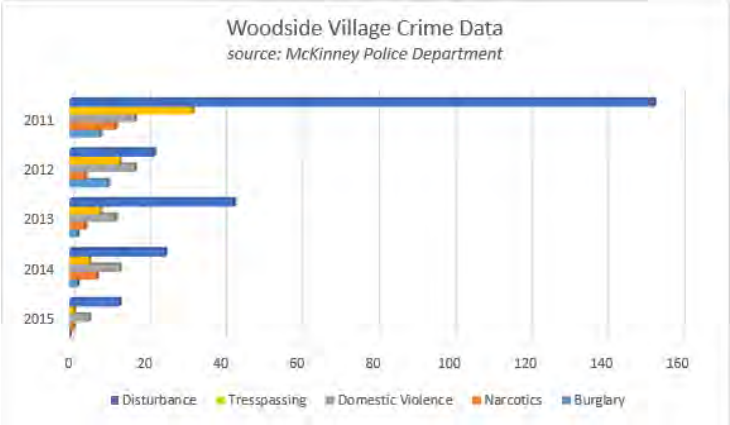
Security patrol is now provided by the McKinney Police Department to ensure resident safety and has made a big difference. *"I have seen a lot less traffic throughout the property and there has been a large reduction in violence,"* said Felicia. "*Now that residents know we have security patrol as well as monitoring cameras, they are much more careful about what they do and are more respectful of the property."*

"Prior to the security improvements, I received numerous complaints and many lease violations ranging from drug use to violence including many shootings. There were many reports of assault, burglary, disturbance, domestic violence and trespassing."

"I've seen many significant security improvements throughout my three years as community manager at Woodside Village Apartments and have developed close relationships with our current tenants. We have removed the bad tenants who caused many of our security problems due to our wonderful partnership with our police department."

Felicia Graves
Woodside Village Community Manager

The following is a report from the McKinney Police Department:



Total crime dropped 81% since Steele Properties took ownership of Woodside Village. Crime data from the McKinney Police Department shows a significant drop in total crime since 2011. The largest declines include assault, burglary, disturbance, domestic violence and trespassing.

A resident safety and security survey was conducted at the conclusion of the Woodside Village renovation and 100% of responders felt that the security improvements improved safety. Resident felt much safer than before with 90% of responders strongly agreeing.

One resident commented: *"I think our Woodside community manager is doing a great job helping residents feel safe. As long as we all stay together as a community, things around here will get even better."* Another resident said: *"I don't feel any danger here. I see kids playing outside all the time and as long as they feel safe, then this is a good place to call home."*

Sources and Uses

Tax Credit Execution

Project Sources			% of Total			
Private Placement Tax-Exempt Debt	$	7,710,000	68.93%	$	94,024	per unit
Federal LIHTC Proceeds	$	3,023,943	27.04%	$	36,877	per unit
Deferred Developer Fee	$	220,039	1.97%	$	2,683	per unit
Assumption of 2nd Mortgage			0.00%	$	-	per unit
Assumption of 3rd Mortgage			0.00%	$	-	per unit
NOI During Development	$	230,872	2.06%	$	2,816	per unit
Total Sources	$	11,184,853	100.0%	$	136,401	per unit

Project Uses			% of Total			
Acquisition Cost	$	3,639,328	32.5%	$	44,382	per unit
Improvements	$	4,362,389	39.0%	$	53,200	per unit
Cost of Financing	$	1,187,732	10.6%	$	14,485	per unit
Fees, Reserves and Soft Costs	$	1,995,405	17.8%	$	24,334	per unit
Total Uses	$	11,184,853	100.0%	$	136,401	per unit

Funding Sources Excess/(Shortage)	$	-

Draw Schedule

	Total	0 Closing Jun-19	1 Month 1 Jul-19	2 Month 2 Aug-19	3 Month 3 Sep-19	4 Month 4 Oct-19	5 Month 5 Nov-19	6 Month 6 Dec-19	7 Month 7 Jan-20	8 Month 8 Feb-20	9 Month 9 Mar-20	10 Month 10 Apr-20	11 Month 11 May-20	12 Month 12 Jun-20	13 Month 13 Jul-20	14 Month 14 Aug-20	15 Month 15 Sep-20	Total
Acquisition																		
Property Acquisition, Land	$ 410,000	$ 410,000																$ 410,000
Property Acquisition, Improvements	$ 3,090,000	$ 3,090,000																$ 3,090,000
Phase I Environmental Assessment	$ 37,140	$ 37,140																$ 37,140
Appraisal & Rent Comp. Study	$ 22,000	$ 22,000																$ 22,000
Property Condition Report	$ 3,500	$ 3,500																$ 3,500
Energy Audit	$ 5,000	$ 5,000																$ 5,000
Survey	$ 9,500	$ 9,500																$ 9,500
Market Study	$ 12,000	$ 12,000																$ 12,000
Sewer Scope	$ 2,038	$ 2,038																$ 2,038
WDIR Report	$ 1,650	$ 1,650																$ 1,650
Zoning Report	$ 1,500	$ 1,500																$ 1,500
Title Insurance	$ 45,000	$ 45,000																$ 45,000
																		$ 3,639,328
Improvements																		
Unit Rehab, Landscaping & Signage	$ 3,008,383	$ -	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$ 250,698.60	$250,698.60	$250,698.60				$ 3,008,383
General Requirements (<6% of HC before Contigency)	$ 209,887	$ -	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60				$ 209,887
Contractor Overhead (<2% of HC before Contingency)	$ 69,962	$ -	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20	$ 5,830.20				$ 69,962
Contractor Profit (<6% of HC before Contingency)	$ 209,887	$ -	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60	$ 17,490.60				$ 209,887
Hard Cost Contingency	$ 349,812	$ -	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00	$ 29,151.00				$ 349,812
Permits	$ 20,000	$ 20,000																$ 20,000
Architectural/Engineering Fees	$ 100,000	$ 30,000	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833	$ 5,833				$ 100,000
REAC Related Improvements	$ 314,000	$ 314,000																$ 314,000
Builder Risk	$ 17,491	$ 17,491																$ 17,491
P & P	$ 62,966	$ 50,373												$ 12,593				$ 62,966
																		$ 4,362,389
Cost of Financing																		
Bond Issuer Fee (1% of Bond Issuance)	$ 77,100	77,100																$ 77,100
Bond Counsel	$ 80,000	80,000																$ 80,000
Bond Counsel Expenses	$ 10,000	10,000																$ 10,000
Syndicator Fees	$ 7,500	7,500																$ 7,500
Syndicator Legal	$ 25,000	25,000																$ 25,000
Trustee	$ 5,000	5,000																$ 5,000
Trustee Counsel	$ 5,000	5,000																$ 5,000
Red Stone Application Fee/Third Parties	$ 25,000	$ 25,000																$ 25,000
Red Stone Conversion Fee	$ 10,000	$ 10,000																$ 10,000
RedStone Origination	$ 115,650	$ 115,650																$ 115,650
RedStone Counsel	$ 60,000	$ 60,000																$ 60,000
Construction Interest	$ 403,488	$ 27,180	$ 27,137	$ 27,093	$ 27,049	$ 27,005	$ 26,960	$ 26,915	$ 26,869	$ 26,824	$ 26,801	$ 26,778	$ 26,755	$ 26,731	$ 26,708	$ 26,685	$ -	$ 403,488
Construction Principal	$ 97,993	$ 6,252	$ 6,295	$ 6,339	$ 6,383	$ 6,428	$ 6,472	$ 6,517	$ 6,563	$ 6,608	$ 6,631	$ 6,654	$ 6,678	$ 6,701	$ 6,724	$ 6,747	$ -	$ 97,993
Redstone Deferred Interest from Acq.	$ 16,000	$ 16,000																$ 16,000
Redstone Acq. Prepayment Fee	$ 160,000	$ 160,000																$ 160,000
Borrower Counsel	$ 90,000	$ 90,000																$ 90,000
Bridge Loan Origination	$ -	$ -																$ -
Bridge Loan Interest	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
																		$ 1,187,732
Fees, Reserves and Soft Costs																		
HUD Counsel	$ 40,000	$ 40,000																$ 40,000
LIHTC Consultant	$ 50,000	$ 50,000																$ 50,000
Construction Inspection Fees	$ 18,000	$ -	$ -	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500	$ 1,500			$ 18,000
Bond App Fee	$ 3,500	$ 3,500																$ 3,500
Bond Commitment Fee (1% of Bond Issuance)	$ 77,100	$ 77,100																$ 77,100
[RESERVED]	$ -	$ -																$ -
MHDC Tax Credit Fee	$ 24,056	$ 24,056																$ 24,056
MHDC Appraisal Fee	$ 6,500	$ 6,500																$ 6,500
MHDC Construction Cost Analysis Fee	$ 5,000	$ 5,000																$ 5,000
MHDC LURA Recording & Other Fees	$ 24,760	$ 160														$ 24,600		$ 24,760
MHDC Tax Credit Application Fee	$ 2,000	$ 2,000																$ 2,000
MHDC Construction Inspection Fee	$ 13,500	$ 13,500																$ 13,500
Resident Relocation Reserve	$ 130,780	$ 130,780																$ 130,780
Travel Costs	$ 22,000	$ 10,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000	$ 1,000				$ 22,000
Accounting	$ 15,000	$ -														$ 15,000		$ 15,000
FF&E	$ 20,000	$ -									$ 20,000							$ 20,000
Security	$ 100,000	$ 100,000																$ 100,000
Property & Liability Insurance (Down-Payment)	$ 21,911	$ 21,911																$ 21,911
Soft Cost Contingency	$ 50,000	$ -	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167	$ 4,167				$ 50,000
LCRA Tax Abatement Fees	$ 14,087	$ 1,000												$ 13,087				$ 14,087
LCRA Bond Fees	$ 55,924	$ 55,924																$ 55,924
LRCA Legal Fee	$ 55,000	$ 55,000																$ 55,000
Tax PILOT Upfront Fee	$ 30,000	$ 30,000																$ 30,000
Replacement Reserve (MHDC Requirement)	$ 49,200	$ 49,200																$ 49,200
Operating Reserve	$ 307,591	$ -														$ 307,591		$ 307,591
Developer Profit	$ 859,494	$ 200,000												$ 200,000			$ 459,494	$ 859,494
	$ 639,455	23.27%												23.27%				$ 1,995,405
DRAW TOTALS	$ 11,184,853	$ 5,666,506	$ 365,093	$ 366,593	$ 366,593	$ 366,593	$ 366,593	$ 366,593	$ 366,593	$ 366,593	$ 386,593	$ 366,593	$ 366,593	$ 592,274	$ 34,932	$ 380,624	$ 459,494	$ 11,184,853
CUMULATIVE DRAW TOTALS		$ 5,666,506	$ 6,031,599	$ 6,398,192	$ 6,764,785	$ 7,131,378	$ 7,497,972	$ 7,864,565	$ 8,231,158	$ 8,597,751	$ 8,984,344	$ 9,350,937	$ 9,717,530	$ 10,309,804	$ 10,344,736	$ 10,725,359	$ 11,184,853	$ 11,184,853

Multi-Year Pro Forma - With Incentive

Assumptions	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10
Rental Escalation		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Average Rent Per Unit	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0
Other Income Escalation		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Economic Vacancy	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Expense Escalation		3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
Management Fees	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%
Replacement Reserves Escalation	$400	$412	$424	$437	$450	$464	$478	$492	$507	$522
Offer Price $3,500,000										

Net Operating Income	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10
Scheduled Gross Income	$ 1,027,440	$ 1,047,989	$ 1,068,949	$ 1,090,328	$ 1,112,134	$ 1,134,377	$ 1,157,064	$ 1,180,206	$ 1,203,810	$ 1,227,886
Less: Economic Vacancy	$ (51,372)	$ (52,399)	$ (53,447)	$ (54,516)	$ (55,607)	$ (56,719)	$ (57,853)	$ (59,010)	$ (60,190)	$ (61,394)
Effective Gross Income	$ 976,068	$ 995,589	$ 1,015,501	$ 1,035,811	$ 1,056,527	$ 1,077,658	$ 1,099,211	$ 1,121,195	$ 1,143,619	$ 1,166,492
Add: Other Income	$ 7,264	$ 7,409	$ 7,557	$ 7,709	$ 7,863	$ 8,020	$ 8,180	$ 8,344	$ 8,511	$ 8,681
TOTAL INCOME	$ 983,332	$ 1,002,999	$ 1,023,059	$ 1,043,520	$ 1,064,390	$ 1,085,678	$ 1,107,392	$ 1,129,539	$ 1,152,130	$ 1,175,173
Less: Operating Expenses	$ (488,789)	$ (503,453)	$ (518,556)	$ (534,113)	$ (550,136)	$ (566,640)	$ (583,640)	$ (601,149)	$ (619,183)	$ (637,759)
Less: RE Tax	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
Less: Replacement Reserves	$ (32,800)	$ (33,784)	$ (34,798)	$ (35,841)	$ (36,917)	$ (38,024)	$ (39,165)	$ (40,340)	$ (41,550)	$ (42,797)
NET OPERATING INCOME	$ 461,743	$ 465,762	$ 469,705	$ 473,565	$ 477,337	$ 481,013	$ 484,587	$ 488,051	$ 491,397	$ 494,617

Cash Flow After Debt Service										
NET OPERATING INCOME	$ 461,743	$ 465,762	$ 469,705	$ 473,565	$ 477,337	$ 481,013	$ 484,587	$ 488,051	$ 491,397	$ 494,617
Debt Service	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)
MIP	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
CASH FLOW AFTER DEBT SERVICE	$ 60,558	$ 64,577	$ 68,519	$ 72,380	$ 76,152	$ 79,828	$ 83,402	$ 86,865	$ 90,211	$ 93,432
Debt Service Coverage Ratio (with MIP)	1.15x	1.16x	1.17x	1.18x	1.19x	1.20x	1.21x	1.22x	1.22x	1.23x

Multi-Year Pro Forma - NO Incentive

Jump to Input Page

Assumptions	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10
Rental Escalation		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Average Rent Per Unit	$0	$0	$0	$0	$0	$0	$0	$0	$0	$0
Other Income Escalation		2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%	2.00%
Economic Vacancy	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%	5.00%
Expense Escalation		3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%	3.00%
Management Fees	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%	4.60%
Replacement Reserves Escalation	$400	$412	$424	$437	$450	$464	$478	$492	$507	$522
Offer Price $3,500,000										

Net Operating Income	Year 1	Year 2	Year 3	Year 4	Year 5	Year 6	Year 7	Year 8	Year 9	Year 10
Scheduled Gross Income	$ 1,027,440	$ 1,047,989	$ 1,068,949	$ 1,090,328	$ 1,112,134	$ 1,134,377	$ 1,157,064	$ 1,180,206	$ 1,203,810	$ 1,227,886
Less: Economic Vacancy	$ (51,372)	$ (52,399)	$ (53,447)	$ (54,516)	$ (55,607)	$ (56,719)	$ (57,853)	$ (59,010)	$ (60,190)	$ (61,394)
Effective Gross Income	$ 976,068	$ 995,589	$ 1,015,501	$ 1,035,811	$ 1,056,527	$ 1,077,658	$ 1,099,211	$ 1,121,195	$ 1,143,619	$ 1,166,492
Add: Other Income	$ 7,264	$ 7,409	$ 7,557	$ 7,709	$ 7,863	$ 8,020	$ 8,180	$ 8,344	$ 8,511	$ 8,681
TOTAL INCOME	$ 983,332	$ 1,002,999	$ 1,023,059	$ 1,043,520	$ 1,064,390	$ 1,085,678	$ 1,107,392	$ 1,129,539	$ 1,152,130	$ 1,175,173
Less: Operating Expenses	$ (488,789)	$ (503,453)	$ (518,556)	$ (534,113)	$ (550,136)	$ (566,640)	$ (583,640)	$ (601,149)	$ (619,183)	$ (637,759)
Less: RE Tax	$ (62,000)	$ (63,860)	$ (65,776)	$ (67,749)	$ (69,782)	$ (71,875)	$ (74,031)	$ (76,252)	$ (78,540)	$ (80,896)
Less: Replacement Reserves	$ (32,800)	$ (33,784)	$ (34,798)	$ (35,841)	$ (36,917)	$ (38,024)	$ (39,165)	$ (40,340)	$ (41,550)	$ (42,797)
NET OPERATING INCOME	$ 399,743	$ 401,902	$ 403,929	$ 405,816	$ 407,556	$ 409,138	$ 410,556	$ 411,799	$ 412,857	$ 413,722

Cash Flow After Debt Service										
NET OPERATING INCOME	$ 399,743	$ 401,902	$ 403,929	$ 405,816	$ 407,556	$ 409,138	$ 410,556	$ 411,799	$ 412,857	$ 413,722
Debt Service	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)	$ (401,185)
MIP	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -	$ -
CASH FLOW AFTER DEBT SERVICE	$ (1,442)	$ 717	$ 2,744	$ 4,631	$ 6,370	$ 7,953	$ 9,370	$ 10,613	$ 11,672	$ 12,536
Debt Service Coverage Ratio (with MIP)	1.00x	1.00x	1.01x	1.01x	1.02x	1.02x	1.02x	1.03x	1.03x	1.03x

ITEMS CORRESPONDING TO SCHEDULE B-II

BASED ON SCHEDULE B OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, BEARING AN EFFECTIVE DATE OF NOVEMBER 01, 2018:

ITEM 1 THROUGH ITEM 9: NOT SURVEY RELATED.

10 ITEM 10: BUILDING SETBACK LINES, EASEMENTS, COVENANTS AND RESTRICTIONS, IF ANY, SHOWN ON THE RECORDED PLAT OF BRIGHTON HEIGHTS, FILED MAY 23, 1905, IN PLAT BOOK 13 AT PAGE 11; PLAT OF HIGHVIEW, FILED APRIL 17, 1900, IN PLAT BOOK 10 AT PAGE 93; THE SUBJECT SITE IS A PORTION OF THESE SUBDIVISIONS AND THERE ARE NO BUILDING SETBACK LINES, BUT THE THREE (3) FOOT WIDE EASEMENT IS SHOWN ON THE SURVEY.

PLAT OF SOUTH WINFIELD PLACE, FILED APRIL 20, 1883, IN BOOK B2 AT PAGE 26; PLAT OF GRAHAM PLACE, FILED JANUARY 3, 1888, IN BOOK B8 AT PAGE 17 AND PLAT OF STEWART'S 3RD ADDITION, FILED JUNE 5, 1895, IN BOOK B10 AT PAGE 17; THE SUBJECT SITE (TRACT I AND TRACT II) ARE NOT A PART OF THESE SUBDIVISIONS.

11 ITEM 11: EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY AS SET FORTH IN INSTRUMENT FILED JULY 26, 1929, UNDER DOCUMENT NO. A420306 IN BOOK B2915 AT PAGE 272 (AFFECTS TRACT I); IT IS SHOWN ON THE SURVEY, LOCATED ON TRACT I.

12 ITEM 12: EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY AS SET FORTH IN INSTRUMENT FILED FEBRUARY 28, 1973, UNDER DOCUMENT NO. K186628 IN BOOK K417 AT PAGE 47 (AFFECTS TRACT I AND TRACT II; IT IS SHOWN ON THE SURVEY, LOCATED ON TRACT I AND TRACT II.

ITEM 13 THROUGH ITEM 20: ITEMS NOT RELATED TO TRACT I AND/OR TRACT II.

ZONING INFORMATION

ZONING REPORT BY ZIPLINE ZONING INFORMATION PROVIDERS
AS OF AUGUST 24, 2018
JOB REFERENCE # 14968

1. ZONING JURISDICTION: KANSAS CITY, MISSOURI.

2. ZONING DISTRICT:
   A. R-1.5: RESIDENTIAL.
   B. R-2.5: RESIDENTIAL.
   C. B3-2: COMMUNITY BUSINESS.

3. BUILDING REQUIREMENTS - REQUIRED:
   A. BUILDING HEIGHT (MAX.): 45'
   B. FLOOR AREA RATIO (MAX.): 2.2

4. LOT REQUIREMENTS - REQUIRED:
   A. LOT AREA (MIN.): 48,000 SF
   B. LOT WIDTH (MIN.): 40'
   C. FRONT PROPERTY LINE SETBACK (MIN.): 25'
   D. SIDE PROPERTY LINE SETBACK - STREET (MIN.): 15'
   E. SIDE PROPERTY LINE SETBACK - INTERIOR (MIN.): 8'
   F. REAR PROPERTY LINE SETBACK (MIN.): 30'
   G. ALL SETBACK LINES, SHOWN ON THE SURVEY, ARE BASED ON SKETCH FURNISHED BY THE CLIENT.

5. PARKING REQUIREMENTS - REQUIRED:
   A. PARKING SPACES (MIN.): 32

6. PREPARED BY:
   CHAS EDMONDSON, SENIOR ZONING ANALYST
   CEdmondson@armadaanalytics.com
   678-743-1093

7. REVIEWED BY:
   SAMMY LORTZ, VICE PRESIDENT
   SLortz@armadaanalytics.com
   864-751-9077

8. MUNICIPALITY
   PLANNING & DEVELOPMENT; KANSAS CITY
   VICTORIA SMITH; SENIOR ENGINEERING TECHNICIAN
   816.513.1500

VICINITY MAP - NOT TO SCALE

LEGEND OF SYMBOLS & ABBREVIATIONS

- SURVEY MONUMENT (AS NOTED)
- SET CHISELED "+" IN CONCRETE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- FIRE VALVE AUTO CONNECTION
- GAS SERVICE VALVE
- GAS SERVICE METER
- OVERHEAD UTILITY POLE
- OVERHEAD LIGHT POLE
- OVERHEAD UTILITY POLE WITH LIGHT
- GUY WIRE ANCHOR
- SATELLITE RECEIVER DISH
- FLOOD LIGHT
- ELECTRIC PANEL
- ELECTRIC BOX
- FLAG POLE
- BANK OF 6 ELECTRIC METERS
- POLE SIGN
- MAILBOX
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- SPRINKLER CONTROL VALVE
- CLEAN-OUT
- ELECTRICAL TRANSFORMER
- CABLE TELEVISION PEDESTAL
- CABLE TELEVISION VAULT
- ATT COMMUNICATION VAULT
- UNDERGROUND TELEPHONE MANHOLE
- DRAINAGE MANHOLE
- UNDERGROUND TELEPHONE VAULT
- UNDERGROUND FIBER OPTIC VAULT
- TRAFFIC SIGNAL VAULT
- GATE SENSOR EYE
- UNDERGROUND FIBER OPTIC SIGN
- UNDERGROUND GAS LINE SIGN
- GATE METER BOX
- HVAC UNIT / HEAT PUMP
- AREA INLET
- MONITORING WELL
- KEY PAD
- OVERHEAD ELECTRIC LINE
- EXISTING FENCE LINE
- N NORTH
- E EAST
- S SOUTH
- W WEST
- R/W RIGHT-OF-WAY
- AC. ACRES
- S.F. SQUARE FEET
- ℄ CENTERLINE
- 3 PLATTED BLOCK NUMBER
- ⟹ APPARENT TRAFFIC DIRECTION FLOW ARROWS

MISCELLANEOUS NOTES

1. AREA OF PROPERTY DESCRIBED:
   TRACT I: 0.89± ACRE (38,681± SQUARE FEET).
   TRACT II: 0.49± ACRE (21,296± SQUARE FEET).

2. GROSS SQUARE FOOTAGE OF BUILDINGS, AS SHOWN ON THE SURVEY, ARE BASED ON THE EXTERIOR FOOTPRINT AT GROUND LEVEL.

3. BUILDING HEIGHTS ARE BASED ON THE ABOVE GROUND ELEVATION AT THE LOCATION OF THE HEIGHT SHOWN ON THE SURVEY.

4. DATE OF FIELD WORK: 07/18/2018.

5. BEARINGS BASED ON THE WEST LINE OF BRIGHTON HEIGHTS, AN ADDITION TO KANSAS CITY, JACKSON COUNTY, MISSOURI, PLAT BOOK 13 AT PAGE 11 AND THE EAST LINE OF BRIGHTON AVENUE AS S00°00'00"W.

6. ADJOINING LAND OWNER NAMES, DEED REFERENCES AND PARCEL ID NUMBER INFORMATION TAKEN FROM KANSAS CITY, MISSOURI GIS WEBSITE OR KC MAP VIEWER, AVAILABLE AT: http://maps.kcmo.org/apps/parcelviewer/

7. THERE IS NO APPARENT OBSERVABLE EVIDENCE OF A CEMETERY OR BURIAL GROUND LOCATED ON THE SUBJECT SITE.

8. "5015" WAS OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING ALONG E 24th STREET. "2415", "2417", 2419", "2421", "2423", "2425", "2427", "2429" WAS OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING(S) ALONG BRIGHTON AVENUE. THE ADDRESS SHOWN WERE DEPICTED IN DOCUMENTS FURNISHED BY THE CLIENT AND SHOWN ON PUBLIC RECORD.

9. TRACT I- EXISTING OFF-STREET PAINTED PARKING STALLS:
   A. 0 - HANDICAP PARKING STALLS
   B. 18 1/2 - REGULAR PARKING STALLS

   TRACT II- EXISTING OFF-STREET PAINTED PARKING STALLS:
   A. 0 - HANDICAP PARKING STALLS
   B. 20 1/2 - REGULAR PARKING STALLS

*NOTE: THIS SURVEY MAKES NO CLAIMS THAT THE SIZE OR DIMENSIONS OF EITHER THE STANDARD STALLS OR ADA STALLS SHOWN ON THIS SURVEY ARE IN COMPLIANCE WITH THE CONTROLLING JURISDICTION AUTHORITY OR REQUIREMENTS.

10. THE SUBJECT SITE HAS DIRECT PHYSICAL VEHICULAR ACCESS TO BRIGHTON AVENUE AND QUINCY STREET, WHICH ARE PUBLIC RIGHT-OF-WAYS.

11. THE CLIENT HAS NOT DESIGNATED, A DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES. THERE ARE NO OBSERVED PARTY WALLS LOCATED ON THE SUBJECT SITE.

12. THERE IS NO APPARENT OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT SITE, AT THE DATE OF FIELD WORK.

13. AS OF 07/18/2018, THERE IS NO OBSERVABLE APPARENT EVIDENCE OF ANY CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS OBSERVED EVIDENCE AND CURRENT SIDEWALK CONSTRUCTION ON THE DATE OF SURVEY.

14. THERE IS NO APPARENT OBSERVABLE EVIDENCE OR ANY FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST, AS HIRED BY THE CLIENT.

15. THERE ARE NO PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6 ARE SHOWN ON THE SURVEY.

16. VERTICAL DATUM: NAVD 88; OBSERVED KCMO BENCHMARK INDEX RECORD 1824, ELEVATION: 843.08. LOCATED AT CENTERLINE INTERSECTION OF BRIGHTON AVENUE AND 23rd STREET. CONTOURS AT 1' INTERVALS.

RECORD DESCRIPTION

THE LAND REFERRED TO HEREIN IS DESCRIBED AS FOLLOWS:

TRACT I:

ALL OF LOTS 1, 2, AND 3, EXCEPT THE WEST 103 FEET THEREOF, MEASURED AT A RIGHT ANGLE TO THE WEST LINE OF SAID LOTS, ALL OF LOT 4, EXCEPT THE WEST 103 FEET OF THE NORTH 19.8 FEET THEREOF; ALL OF LOTS 5 TO 9, INCLUSIVE AND ALL OF THE NORTH 20 FEET OF LOT 10, ALL OF SAID LOTS BEING IN BRIGHTON HEIGHTS, AN ADDITION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

TRACT II:

ALL THAT PART OF LOTS 22 AND 23, HIGHVIEW, AN ADDITION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 23, WHICH IS 93.22 FEET NORTH OF THE SOUTHWEST CORNER THEREOF; THENCE SOUTHEASTERLY ALONG A STRAIGHT LINE 141.33 FEET, MORE OR LESS, TO A POINT ON THE WEST LINE OF QUINCY AVENUE AS NOW ESTABLISHED, WHICH IS 102.5 FEET NORTH OF THE SOUTH LINE OF SAID LOT 22, MEASURED ALONG SAID WEST LINE; THENCE NORTH ALONG THE WEST LINE OF SAID QUINCY AVENUE, 147.5 FEET TO THE NORTHEAST CORNER OF LOT 22; THENCE NORTHWESTERLY ALONG THE NORTHERLY LINE OF SAID LOT 22 AND LOT 23, 141.36 FEET TO THE NORTHWEST CORNER OF LOT 23; THENCE SOUTH ALONG THE WEST LINE OF SAID LOT 23, 156.78 FEET TO THE POINT OF BEGINNING.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED AS TRACT I AND TRACT II OF "EXHIBIT "A" ON THE TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, DATED NOVEMBER 01, 2018.

UTILITY STATEMENT

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES, IF SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES, IF SHOWN, ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FLOOD NOTE

1. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN UNSHADED ZONE X OF THE FLOOD INSURANCE RATE MAPS, COMMUNITY NO. 290173, MAP NUMBER 29095C0259G, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 20, 2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (http://msc.fema.gov). NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
07/19/2018	FIRST DRAFT	11/21/2018	NETWORK COMMENTS
07/30/2018	NETWORK COMMENTS	11/27/2018	NETWORK COMMENTS
10/18/2018	NETWORK COMMENTS	11/28/2018	NETWORK COMMENTS
FIELD WORK: JM, MH	DRAFTED: JEH	CHECKED BY: MLT	FB & PG: 18-222

SIGNIFICANT OBSERVATIONS

A THE WESTERLY PORTION OF BUILDING C, LIES WITHIN THE LIMITS OF THE 10' EASEMENT CONVEYANCE AS RECORDED IN BOOK K417 AT PAGE 47, BY NO MORE THAN 1.8'.

B THE EASTERLY FACE OF BUILDING A IS THE SAME AS THE WEST LINE OF THE 10' EASEMENT CONVEYANCE AS RECORDED IN BOOK K417 AT PAGE 47.

C PEDESTRIAN INGRESS AND EGRESS TO AND FROM THE ADJOINING TRACT TO THE WEST/NORTH, WITHOUT THE BENEFIT OF A FURNISHED EASEMENT OR AGREEMENT.

D THE SOUTHERLY PORTION OF THE CONCRETE WALK, LIES SOUTH OF THE NORTH DEED LINE, BY NO MORE THAN 5.9'.

E THE BUILDING (2423-2429 BRIGHTON AVENUE) LIES WITHIN THE LIMITS OF THE 25' ZONING SETBACK LINE, BY NO MORE THAN 6.21'.

F THE BUILDING (5015 E 24th STREET) LIES WITHIN THE LIMITS OF THE 20' ZONING SETBACK LINE, BY NO MORE THAN 0.25'.

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORP.
© 2018 BOCK AND CLARK CORP.

ALTA/NSPS LAND TITLE SURVEY

Brighton and Winfield

Brighton Place Apartments
2415 Brighton Avenue, Kansas City, MO 64127

BASED ON TRACT I AND TRACT II OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, BEARING AN EFFECTIVE DATE OF NOVEMBER 01, 2018

SURVEYOR'S CERTIFICATION

TO: ARC70 FUND I, LP, SERIES A AND ITS SUCCESSORS AND ASSIGNS; STEELE BRIGHTON WINFIELD LLC; THE HUNTINGTON NATIONAL BANK, AS TRUSTEE, AND ITS SUCCESSORS AND ASSIGNS; STEELE ACQUISITIONS III LLC; DEUTSCHE BANK AG, NEW YORK BRANCH; SECURED TITLE OF KANSAS CITY; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND BOCK & CLARK CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 18, 2018.

PRELIMINARY

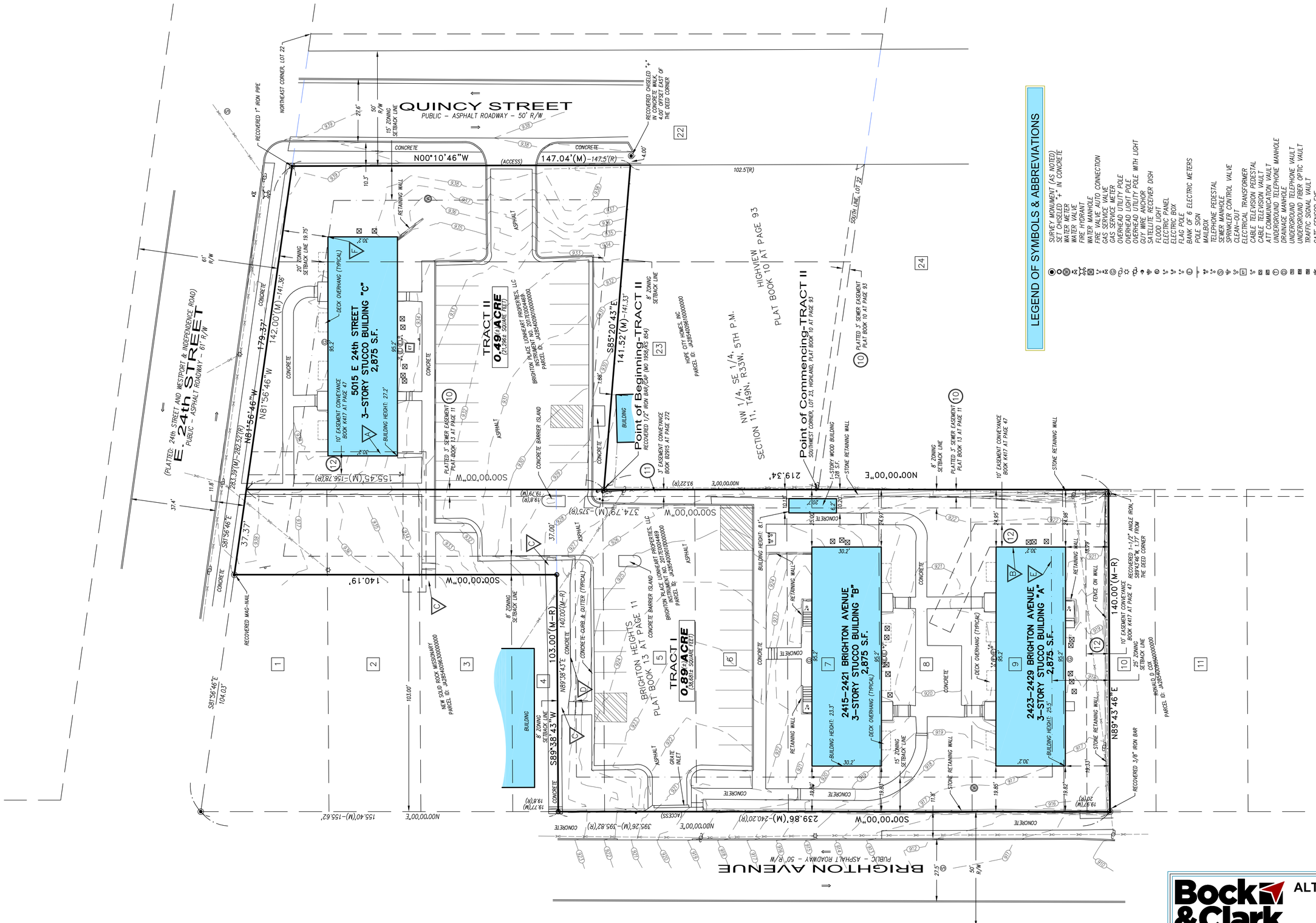
MICHAEL L. TAYLOR, MO PLS
REGISTRATION NO. LS 2000161238
IN THE STATE OF MISSOURI
DATE OF SURVEY: 07/18/2018
DATE OF LAST REVISION: 11/21/2018

BOCK & CLARK NSN PROJECT NO. 201802749-1

SURVEY PREPARED BY
WHITEHEAD CONSULTANTS, INC. (18-222)
MISSOURI LICENSED CORPORATION LC 331
114 N. MAIN STREET, P.O. BOX 461
CLINTON, MO 64735
PHONE: 660-885-8311
FAX: 660-885-8447
EMAIL: mtaylor@wcieng.com
WEB: www.wcieng.com

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

National Coordinators
1-(800)-SURVEYS (787-8397)
Bock & Clark Corporation
3550 W. Market Street, Suite 200, Akron, Ohio 44333
maywehelpyou@bockandclark.com
www.bockandclark.com



LEGEND OF SYMBOLS & ABBREVIATIONS

- SURVEY MONUMENT (AS NOTED)
- SET CHISELED "+" IN CONCRETE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- FIRE VALVE AUTO CONNECTION
- GAS SERVICE VALVE
- GAS SERVICE METER
- OVERHEAD UTILITY POLE
- OVERHEAD LIGHT POLE
- OVERHEAD UTILITY POLE WITH LIGHT
- GUY WIRE ANCHOR
- SATELLITE RECEIVER DISH
- FLOOD LIGHT
- ELECTRIC PANEL
- ELECTRIC BOX
- FLAG POLE
- BUILDING & ELECTRIC METERS
- POLE SIGN
- MAILBOX
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- SPRINKLER CONTROL VALVE
- CLEAN-OUT
- ELECTRICAL TRANSFORMER
- CABLE TELEVISION PEDESTAL
- CABLE TELEVISION VAULT
- ATT COMMUNICATION VAULT
- UNDERGROUND TELEPHONE MANHOLE
- DRAINAGE MANHOLE
- UNDERGROUND TELEPHONE VAULT
- UNDERGROUND FIBER OPTIC VAULT
- TRAFFIC SIGNAL VAULT
- GATE SENSOR EYE
- UNDERGROUND FIBER OPTIC SIGN
- UNDERGROUND GAS LINE SIGN
- GATE METER BOX
- HVAC UNIT / HEAT PUMP
- AREA INLET
- MONITORING WELL
- KEY PAD
- OVERHEAD ELECTRIC LINE
- EXISTING FENCE LINE
- NORTH
- EAST
- SOUTH
- WEST
- R/W RIGHTS-OF-WAY
- AC ACRES
- S.F. SQUARE FEET
- CENTERLINE
- 3 PLATTED BLOCK NUMBER
- APPARENT TRAFFIC DIRECTION FLOW ARROWS

SHEET 2 OF 2

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

Brighton and Winfield

DATE OF FIELD SURVEY: JULY 18, 2018

BOCK & CLARK NSN PROJECT NO. 201802749-1

1-(800)-SURVEYS (787-8397)

maywehelpyou@bockandclark.com www.bockandclark.com

ITEMS CORRESPONDING TO SCHEDULE B-II

BASED ON SCHEDULE B OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, BEARING AN EFFECTIVE DATE OF NOVEMBER 01, 2018:

ITEM 1 THROUGH ITEM 9: NOT SURVEY RELATED.

ITEM 10: BUILDING SETBACK LINES, EASEMENTS, COVENANTS AND RESTRICTIONS, IF ANY, SHOWN ON THE RECORDED PLAT OF BRIGHTON HEIGHTS, FILED MAY 23, 1905, IN PLAT BOOK 13 AT PAGE 11; PLAT OF HIGHVIEW, FILED APRIL 17, 1900, IN PLAT BOOK 10 AT PAGE 93; THE SUBJECT SITE (TRACT III, TRACT IV AND TRACT V) ARE NOT A PART OF THESE SUBDIVISIONS.

PLAT OF SOUTH WINFIELD PLACE, FILED APRIL 20, 1883, IN BOOK B2 AT PAGE 26; PLAT OF GRAHAM PLACE, FILED JANUARY 3, 1888, IN BOOK B8 AT PAGE 17 AND PLAT OF STEWART'S 3RD ADDITION, FILED JUNE 5, 1895, IN BOOK B10 AT PAGE 17; THE SUBJECT SITE ARE A PORTION OF THESE SUBDIVISIONS AND THERE ARE NO BUILDING SETBACK LINES OR EASEMENTS DEPICTED THE FINAL PLATS.

ITEM 11 THROUGH ITEM 12: ITEMS NOT RELATED TO TRACT III, TRACT IV AND/OR TRACT V.

13 ITEM 13: SEWER EASEMENT IN THAT PART OF THE PREMISES IN QUESTION IN THE VACATED ALLEY HEREIN DESCRIBED, RESERVED IN ORDINANCE NO. 12737, OF THE CITY OF KANSAS CITY, MISSOURI, FILED FOR RECORD JULY 2, 1912, UNDER DOCUMENT NO. 877588, IN BOOK B1276 AT PAGE 458. (AFFECTS TRACT III); IT IS SHOWN ON THE SURVEY LOCATED ON TRACT III.

ITEM 14: ALL RIGHTS ACQUIRED BY ANY PUBLIC OR PRIVATE UTILITIES IN THE ALLEYS PRIOR TO THE VACATION THEREOF; NO DOCUMENTS WERE FURNISHED TO SUPPORT THIS ITEM.

ITEM 15: TERMS AND PROVISIONS OF RESTRICTIONS, BUT DELETING ANY RACIAL RESTRICTIONS, IN URBAN RENEWAL PLAN, AS REFERENCED IN INSTRUMENT DESIGNATED REDEVELOPMENT CONTRACT, FILED SEPTEMBER 9, 1969, UNDER DOCUMENT NO. K59730 IN BOOK K135 AT PAGE 930; ITEM IS NOT SURVEY RELATED.

NOTE: AS AFFECTED BY INSTRUMENT DESIGNATED CERTIFICATE OF COMPLIANCE, FILED FEBRUARY 23, 1973, UNDER DOCUMENT NO. K186234 IN BOOK K416 AT PAGE 61; ITEM IS NOT SURVEY RELATED.

ITEM 16: TERMS AND PROVISIONS OF RESTRICTIONS, BUT DELETING ANY RACIAL RESTRICTIONS, IN URBAN RENEWAL PLAN, AS REFERENCED IN INSTRUMENT DESIGNATED CONTRACT TO SELL AND PURCHASE, FILED MAY 4, 1972, UNDER DOCUMENT NO. K155291 IN BOOK K342 AT PAGE 458; ITEM IS NOT SURVEY RELATED.

17 ITEM 17: EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY AS SET FORTH IN INSTRUMENT FILED JULY 10, 1973, UNDER DOCUMENT NO. K200307 IN BOOK K451 AT PAGE 1997 (AFFECTS TRACT III AND TRACT IV); IT IS SHOWN ON THE SURVEY AND LOCATED ON TRACT III AND TRACT IV.

ITEM 18: TERMS, CONDITIONS AND RESTRICTIONS, BUT DELETING ANY RACIAL RESTRICTIONS, AS SET FORTH IN INSTRUMENT DESIGNATED LAND USE RESTRICTION AGREEMENT, FILED OCTOBER 19, 1992, UNDER DOCUMENT NO. K1048418 IN BOOK K2306 AT PAGE 1203 (AFFECTS TRACT III AND TRACT IV); ITEM IS NOT SURVEY RELATED.

ITEM 19: TERMS AND PROVISIONS OF UNRECORDED LEASE DATED DECEMBER 21, 2001, BY AND BETWEEN SEREN PROPERTIES INC., LESSOR, AND JETZ SERVICE CO., INC., LESSEE, THE EXISTENCE OF WHICH IS DISCLOSED BY INSTRUMENT DESIGNATED MEMORANDUM OF LEASE, FILED SEPTEMBER 3, 2002, UNDER DOCUMENT NO. 2002K0056650 (AFFECTS TRACT III AND TRACT IV); ITEM IS NOT SURVEY RELATED.

20 ITEM 20: EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY AS SET FORTH IN INSTRUMENT FILED DECEMBER 13, 2007, UNDER DOCUMENT NO. 2007E0157382 (AFFECTS TRACT V); IT IS SHOWN ON THE SURVEY LOCATED ON TRACT V.

UTILITY STATEMENT

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES, IF SHOWN, COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE UNDERGROUND UTILITIES, IF SHOWN, ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

FLOOD NOTE

1. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN UNSHADED ZONE X OF THE FLOOD INSURANCE RATE MAPS, COMMUNITY NO. 290173, MAP NUMBER 29095C0256G, WHICH BEARS AN EFFECTIVE DATE OF JANUARY 20, 2017 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEBSITE (http://msc.fema.gov). NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

ZONING INFORMATION

ZONING REPORT BY ZIPLINE ZONING INFORMATION PROVIDERS
AS OF AUGUST 24, 2018
JOB REFERENCE # 14969

1. ZONING JURISDICTION: KANSAS CITY, MISSOURI.

2. ZONING DISTRICT:
   A. R–1.5: RESIDENTIAL.

3. BUILDING REQUIREMENTS – REQUIRED:
   A. BUILDING HEIGHT (MAX.): 45'

4. LOT REQUIREMENTS – REQUIRED:
   A. LOT AREA (MIN.): 75,000 SF
   B. LOT WIDTH (MIN.): 30'

5. PARKING REQUIREMENTS – REQUIRED:
   A. PARKING SPACES (MIN.): 50

6. SETBACK REQUIREMENTS:
   A. 913–917 PROSPECT AVE
      1) FRONT PROPERTY LINE SETBACK (MIN.): 20'
      2) SIDE PROPERTY LINE SETBACK (MIN.): 13.5'
      3) REAR PROPERTY LINE SETBACK (MIN.): 25'
   B. 2601–263 E. 10TH STREET & 1013–1017 PROSPECT AVE
      1) FRONT PROPERTY LINE SETBACK (MIN.): 19.5'
      2) SIDE PROPERTY LINE SETBACK (MIN.): 13'
      3) REAR PROPERTY LINE SETBACK (MIN.): 25'
   C. 2625 E. 11TH ST & 2700 PERRY AVE
      1) FRONT PROPERTY LINE SETBACK (MIN.): 20'
      2) SIDE PROPERTY LINE SETBACK (MIN.): 14'
      3) REAR PROPERTY LINE SETBACK (MIN.): 25'
   D. ALL SETBACK LINES, SHOWN ON THE SURVEY, ARE BASED ON SKETCH FURNISHED BY THE CLIENT.

7. PREPARED BY:
   ALEX CLARK, SENIOR ZONING ANALYST
   aclark@armadaanalytics.com
   864–751–4024

8. REVIEWED BY:
   SAMMY LORTZ, VICE PRESIDENT
   SLortz@armadaanalytics.com
   864–751–9077

9. MUNICIPALITY
   CITY OF KANSAS CITY CITY PLANNING & DEVELOPMENT DEPARTMENT
   VICTORIA SMITH –SENIOR ENGINEERING TECHNICIAN
   816–513–1500 OPTION 3

PROJECT REVISION RECORD

DATE	DESCRIPTION	DATE	DESCRIPTION
07/24/2018	FIRST DRAFT	11/21/2018	NETWORK COMMENTS
07/30/2018	NETWORK COMMENTS	11/27/2018	NETWORK COMMENTS
10/18/2018	NETWORK COMMENTS	11/28/2018	NETWORK COMMENTS
FIELD WORK: SMM, JM, MH	DRAFTED: JEH	CHECKED BY: MLT	FB & PG: 18-223

VICINITY MAP - NOT TO SCALE

LEGEND OF SYMBOLS & ABBREVIATIONS

SURVEY MONUMENT (AS NOTED)
SET CHISELED "+" IN CONCRETE
WATER METER
WATER VALVE
FIRE HYDRANT
WATER MANHOLE
FIRE VALVE AUTO CONNECTION
GAS SERVICE VALVE
BANK OF 12 GAS SERVICE METERS
OVERHEAD UTILITY POLE
OVERHEAD LIGHT POLE
OVERHEAD UTILITY POLE WITH LIGHT
GUY WIRE ANCHOR
SATELLITE RECEIVER DISH
FLOOD LIGHT
ELECTRIC PANEL
ELECTRIC BOX
ELECTRIC VAULT
FLAG POLE
BANK OF 4 ELECTRIC METERS
POLE SIGN
MAILBOX
TELEPHONE PEDESTAL
SEWER MANHOLE
SPRINKLER CONTROL VALVE
CLEAN–OUT
ELECTRICAL TRANSFORMER
CABLE TELEVISION PEDESTAL
CABLE TELEVISION VAULT
ATT COMMUNICATION VAULT
UNDERGROUND TELEPHONE MANHOLE
DRAINAGE MANHOLE
UNDERGROUND TELEPHONE VAULT
UNDERGROUND FIBER OPTIC VAULT
TRAFFIC SIGNAL VAULT
GATE SENSOR EYE
UNDERGROUND FIBER OPTIC SIGN
UNDERGROUND GAS LINE SIGN
GATE METER BOX
HVAC UNIT / HEAT PUMP
AREA INLET
MONITORING WELL
KEY PAD
OVERHEAD ELECTRIC LINE
EXISTING FENCE LINE
N NORTH
E EAST
S SOUTH
W WEST
R/W RIGHT–OF–WAY
AC. ACRES
S.F. SQUARE FEET
℄ CENTERLINE
3 PLATTED BLOCK NUMBER
APPARENT TRAFFIC DIRECTION FLOW ARROWS

SIGNIFICANT OBSERVATIONS

A. THE EASTERLY PORTION OF THE EXISTING BUILDING LIES WITHIN THE LIMITS OF THE EASEMENT GRANTED TO KANSAS CITY POWER AND LIGHT COMPANY AS SET FORTH IN INSTRUMENT FILED JULY 10, 1973, UNDER DOCUMENT NO. K200307 IN BOOK K451 AT PAGE 1997, BY NO MORE THAN 6.7'.

B. CONCRETE WALK RUNS FROM TRACT III TO TRACT IV OVER THE 15' PLATTED ALLEY.

C. EXISTING IRON FENCE LIES WESTERLY OF THE WESTERLY DEED LINE AND CROSSES OVER THE 15' PLATTED ALLEY, BY NO MORE THAN 17.0'

D. THE BUILDING (913–917 PROSPECT AVENUE) LIES WITHIN THE LIMITS OF THE 13' SIDE ZONING SETBACK LINE, BY NO MORE THAN 5.50'.

E. THE BUILDING (2601–2603 E 10th STREET) LIES WITHIN THE LIMITS OF THE 25' REAR ZONING SETBACK LINE, BY NO MORE THAN 17.41'.

F. THE BUILDING (2601–2603 E 10th STREET) LIES WITHIN THE LIMITS OF THE 19.5' FRONT ZONING SETBACK LINE, BY NO MORE THAN 2.49'.

G. THE BUILDING (2700 PEERY AVENUE) LIES WITHIN THE LIMITS OF THE 25' REAR ZONING SETBACK LINE, BY NO MORE THAN 15.48'.

MISCELLANEOUS NOTES

1. AREA OF PROPERTY DESCRIBED:
   TRACT III(A): 0.44± ACRE (19,238± SQUARE FEET).
   TRACT III(B): 0.85± ACRE (37,125± SQUARE FEET).
   TRACT III(C): 0.15± ACRE (6,500± SQUARE FEET).
   TRACT III(D): 0.42± ACRE (18,171± SQUARE FEET).
   TRACT IV: 0.43± ACRE (18,755± SQUARE FEET).
   TRACT V: 0.13± ACRE (5,460± SQUARE FEET).

2. GROSS SQUARE FOOTAGE OF BUILDINGS, AS SHOWN ON THE SURVEY, ARE BASED ON THE EXTERIOR FOOTPRINT AT GROUND LEVEL.

3. BUILDING HEIGHTS ARE BASED ON THE ABOVE GROUND ELEVATION AT THE LOCATION OF THE HEIGHT SHOWN ON THE SURVEY.

4. DATE OF FIELD WORK: 07/20/2018.

5. BEARINGS BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF SECTION 03, T49N, R33W, 5TH P.M., KANSAS CITY, JACKSON COUNTY, MISSOURI AS N00°12'00"W.

6. ADJOINING LAND OWNER NAMES, DEED REFERENCES AND PARCEL ID NUMBER INFORMATION TAKEN FROM KANSAS CITY, MISSOURI GIS WEBSITE OR KC MAP VIEWER, AVAILABLE AT: http://maps.kcmo.org/apps/parcelviewer/

7. THERE IS NO APPARENT OBSERVABLE EVIDENCE OF A CEMETERY OR BURIAL GROUND LOCATED ON THE SUBJECT SITE.

8. "913", "917", "1013", "1015" AND "1017" WERE OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING ALONG PROSPECT AVENUE. "2601" AND "2603" WERE OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING ALONG E 10th STREET. "2610" AND "2625" WERE OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING ALONG E 11th STREET. "2700" WAS OBSERVED AS THE POSTED ADDRESS ON THE EXTERIOR OF THE BUILDING ALONG E PEERY AVENUE. THE ADDRESS SHOWN WERE ALSO DEPICTED IN DOCUMENTS FURNISHED BY THE CLIENT AND SHOWN ON PUBLIC RECORD.

9. TRACT III – EXISTING OFF–STREET PAINTED PARKING STALLS:
   A. 5 – HANDICAP PAINTED PARKING STALLS
   B. 64 – REGULAR PAINTED PARKING STALLS

   TRACT IV – EXISTING OFF–STREET PAINTED PARKING STALLS:
   A. 0 – HANDICAP PAINTED PARKING STALLS
   B. 15 – REGULAR PAINTED PARKING STALLS

   TRACT V – EXISTING OFF–STREET PAINTED PARKING STALLS:
   A. 0 – HANDICAP PAINTED PARKING STALLS
   B. 0 – REGULAR PAINTED PARKING STALLS

*NOTE: THERE WERE ADDITIONAL APPARENT OBSERVED PARKING STALLS, BUT THE PAINTED PARKING STRIPS WERE WEATHER FADED AND COULD NOT OBTAIN AN ACCURATE COUNT OF THOSE STALLS.

**NOTE: THIS SURVEY MAKES NO CLAIMS THAT THE SIZE OR DIMENSIONS OF EITHER THE STANDARD STALLS OR ADA STALLS SHOWN ON THIS SURVEY ARE IN COMPLIANCE WITH THE CONTROLLING JURISDICTION AUTHORITY OR REQUIREMENTS.

10. THE SUBJECT SITE(S) HAVE DIRECT PHYSICAL VEHICULAR ACCESS TO E. 10th STREET, AND E. 11th STREET AND PEERY AVENUE, WHICH ARE PUBLIC RIGHT–OF–WAYS.

11. THE CLIENT HAS NOT DESIGNATED, A DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES. THERE ARE NO OBSERVED PARTY WALLS LOCATED ON THE SUBJECT SITE.

12. THERE IS NO APPARENT OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT SITE, AT THE DATE OF FIELD WORK.

13. AS OF 07/20/2018, THERE IS NO OBSERVABLE APPARENT EVIDENCE OF ANY CHANGES IN STREET RIGHT–OF–WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS OBSERVED EVIDENCE AND CURRENT SIDEWALK CONSTRUCTION ON THE DATE OF SURVEY.

14. THERE IS NO APPARENT OBSERVABLE EVIDENCE OR ANY FIELD DELINEATION OF WETLANDS CONDUCTED BY A QUALIFIED SPECIALIST, AS HIRED BY THE CLIENT.

15. THERE ARE NO PLOTTABLE OFFSITE (I.E., APPURTENANT) EASEMENTS OR SERVITUDES DISCLOSED IN DOCUMENTS PROVIDED TO OR OBTAINED BY THE SURVEYOR AS A PART OF THE SURVEY PURSUANT TO SECTIONS 5 AND 6 ARE SHOWN ON THE SURVEY.

16. VERTICAL DATUM: NAVD 88; OBSERVED KCMO BENCHMARK INDEX RECORD 1555, ELEVATION: 916.72. LOCATED AT CENTERLINE INTERSECTION OF 12th STREET AND PROSPECT AVENUE. CONTOURS AT 1' INTERVALS.

LEGAL

THE USE OF THIS DOCUMENT'S FORMAT IS STRICTLY PROHIBITED AND CONTINGENT UPON THE WRITTEN CONSENT AND PERMISSION OF BOCK & CLARK CORP.
© 2018 BOCK AND CLARK CORP.

RECORD DESCRIPTION

THE LAND REFERRED TO HEREIN IS DESCRIBED AS FOLLOWS:

TRACT III:

ALL OF LOTS 11, 12, AND 13, BLOCK 1, SOUTH WINFIELD PLACE, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, AND THE WEST 1/2 OF A 15.0 FOOT ALLEY VACATED BY CITY ORDINANCE NO. 12737, ALL OF LOTS 8, 9, 10, 11, 12, 13, AND 14, BLOCK 2, SAID SOUTH WINFIELD PLACE, ALL OF LOT 3, EXCEPT THE EAST 10.0 FEET THEREOF, ALL OF LOTS 4 AND 5, ALL IN BLOCK 3, SAID SOUTH WINFIELD PLACE.

TRACT IV:

LOTS 1, 2, 3, AND 4, GRAHAM PLACE, A SUBDIVISION OF LAND IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, ALSO A TRACT OF LAND DESCRIBED AS FOLLOWS: BEGINNING 356.75 FEET NORTH 00 DEGREES 12 MINUTES 00 SECONDS WEST AND SOUTH 89 DEGREES 46 MINUTES 49 SECONDS EAST, 180.00 FEET FROM THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 49 NORTH, RANGE 33 WEST, JACKSON COUNTY, MISSOURI, SAID POINT BEING THE TRUE POINT OF BEGINNING OF THE TRACT TO BE HEREIN DESCRIBED, SAID POINT ALSO BEING ON THE NORTH RIGHT–OF–WAY LINE OF PEERY AVENUE; THENCE NORTH 00 DEGREES 12 MINUTES 00 SECONDS WEST, 127.5 FEET (DEED) 128.40 FEET (MEASURED) TO THE CENTERLINE OF A 15 FOOT WIDE ALLEY PARTIALLY VACATED BY CITY ORDINANCE NO. 23993; THENCE EAST ALONG SAID CENTERLINE, 19.67 FEET; THENCE SOUTH 00 DEGREES 12 MINUTES 00 SECONDS EAST, 7.5 FEET TO A POINT ON THE SOUTH LINE OF SAID 15 FOOT WIDE ALLEY AS SHOWN ON THE RECORDED PLAT OF THE ABOVE REFERENCED GRAHAM PLACE; THENCE SOUTH 89 DEGREES 53 MINUTES 38 SECONDS EAST ALONG SAID SOUTH LINE 35.33 FEET TO THE NORTHWEST CORNER OF LOT 1, SAID GRAHAM PLACE; THENCE SOUTH 00 DEGREES 12 MINUTES 00 SECONDS EAST 120.47 FEET (DEED) 121.02 FEET (MEASURED) TO THE SOUTHWEST CORNER OF SAID LOT 1, SAID POINT ALSO BEING ON THE NORTH RIGHT–OF–WAY LINE OF THE AFOREMENTIONED PEERY AVENUE; THENCE NORTH 89 DEGREES 46 MINUTES 49 SECONDS WEST ALONG SAID NORTH RIGHT–OF–WAY LINE, 55.00 FEET TO THE TRUE POINT OF BEGINNING; EXCEPT THAT PART DESCRIBED AS FOLLOWS:

THE SOUTH ONE–HALF OF THE FOLLOWING DESCRIBED TRACT, SAID TRACT BEING AN ALLEY VACATED BY ORDINANCE NO. 130411.

BEGINNING AT A POINT 15.00 FEET WEST OF THE SOUTHEAST CORNER OF LOT 6, BLOCK 3, SOUTH WINFIELD PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, SAID POINT BEING ON THE NORTH LINE OF THE EAST–WEST ALLEY NEXT SOUTH OF 11TH STREET; THENCE SOUTH AND PARALLEL TO THE EAST LINE OF SAID LOT 6, A DISTANCE OF 15.00 FEET TO THE SOUTH LINE OF SAID ALLEY AND THE NORTH LINE OF GRAHAM PLACE, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF; THENCE WEST ALONG THE SOUTH LINE SAID ALLEY, A DISTANCE OF 65.33 FEET MORE OR LESS TO THE EASTERLY BOUNDARY OF VACATED ALLEY (DOCUMENT NO. B314146, BOOK B–5224, PAGE 173); THENCE NORTH 15.00 FEET TO THE NORTH LINE OF SAID ALLEY; THENCE EAST ALONG THE NORTH LINE OF SAID ALLEY, A DISTANCE OF 65.33 FEET MORE OR LESS TO THE POINT OF BEGINNING.

AND ALSO EXCEPT:

A TRACT OF LAND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 49 NORTH, RANGE 33 WEST, KANSAS CITY, JACKSON COUNTY, MISSOURI, THENCE NORTH 00 DEGREES 12 MINUTES 00 SECONDS WEST ALONG THE WEST LINE OF SAID NORTHWEST QUARTER, 356.75 FEET; THENCE SOUTH 89 DEGREES 46 MINUTES 49 SECONDS EAST, 180.00 FEET TO A POINT ON THE NORTH RIGHT–OF–WAY LINE OF PEERY AVENUE; THENCE NORTH 00 DEGREES 12 MINUTES 00 SECONDS WEST, 120.90 FEET TO THE SOUTH LINE OF ALLEY PARTIALLY VACATED BY CITY ORDINANCE NO. 23993 (DOCUMENT NO. B–314146, BOOK B–5224, PAGE 173) AND THE POINT OF BEGINNING; THENCE CONTINUING NORTH 00 DEGREES 12 MINUTES 00 SECONDS WEST, 7.50 FEET TO THE CENTERLINE OF SAID VACATED ALLEY; THENCE EAST ALONG SAID CENTERLINE, 19.67 FEET TO THE WESTERLY BOUNDARY OF ALLEY VACATED BY ORDINANCE NO. 130411; THENCE SOUTH 00 DEGREES 12 MINUTES 00 SECONDS EAST, 7.50 FEET TO THE SOUTH LINE OF SAID VACATED ALLEY; THENCE WEST ALONG THE SOUTH LINE OF SAID VACATED ALLEY 19.67 FEET TO THE POINT OF BEGINNING.

TRACT V:

LOT 36, STEWART'S 3RD ADDITION, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED AS TRACT III, TRACT IV AND TRACT V OF "EXHIBIT "A" ON THE TITLE COMMITMENT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, DATED NOVEMBER 01, 2018.

ALTA/NSPS LAND TITLE SURVEY

Brighton and Winfield

Winfield Place Apartments
2610 & 2625 East 11th Street; 913, 1001 & 1013 Prospect Avenue;
2700 & 2719 Perry Avenue

BASED ON TRACTS III, TRACT IV AND TRACT V OF OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. SKC0047056C, 3RD REVISION 11/15/18, BEARING AN EFFECTIVE DATE OF NOVEMBER 01, 2018

SURVEYOR'S CERTIFICATION

TO: ARC70 FUND I, LP, SERIES A AND ITS SUCCESSORS AND ASSIGNS; STEELE BRIGHTON WINFIELD LLC; THE HUNTINGTON NATIONAL BANK, AS TRUSTEE, AND ITS SUCCESSORS AND ASSIGNS; STEELE ACQUISITIONS III LLC; DEUTSCHE BANK AG, NEW YORK BRANCH; SECURED TITLE OF KANSAS CITY; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY AND BOCK & CLARK CORPORATION.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 13, 14, 16, 17, 18 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 20, 2018.

PRELIMINARY

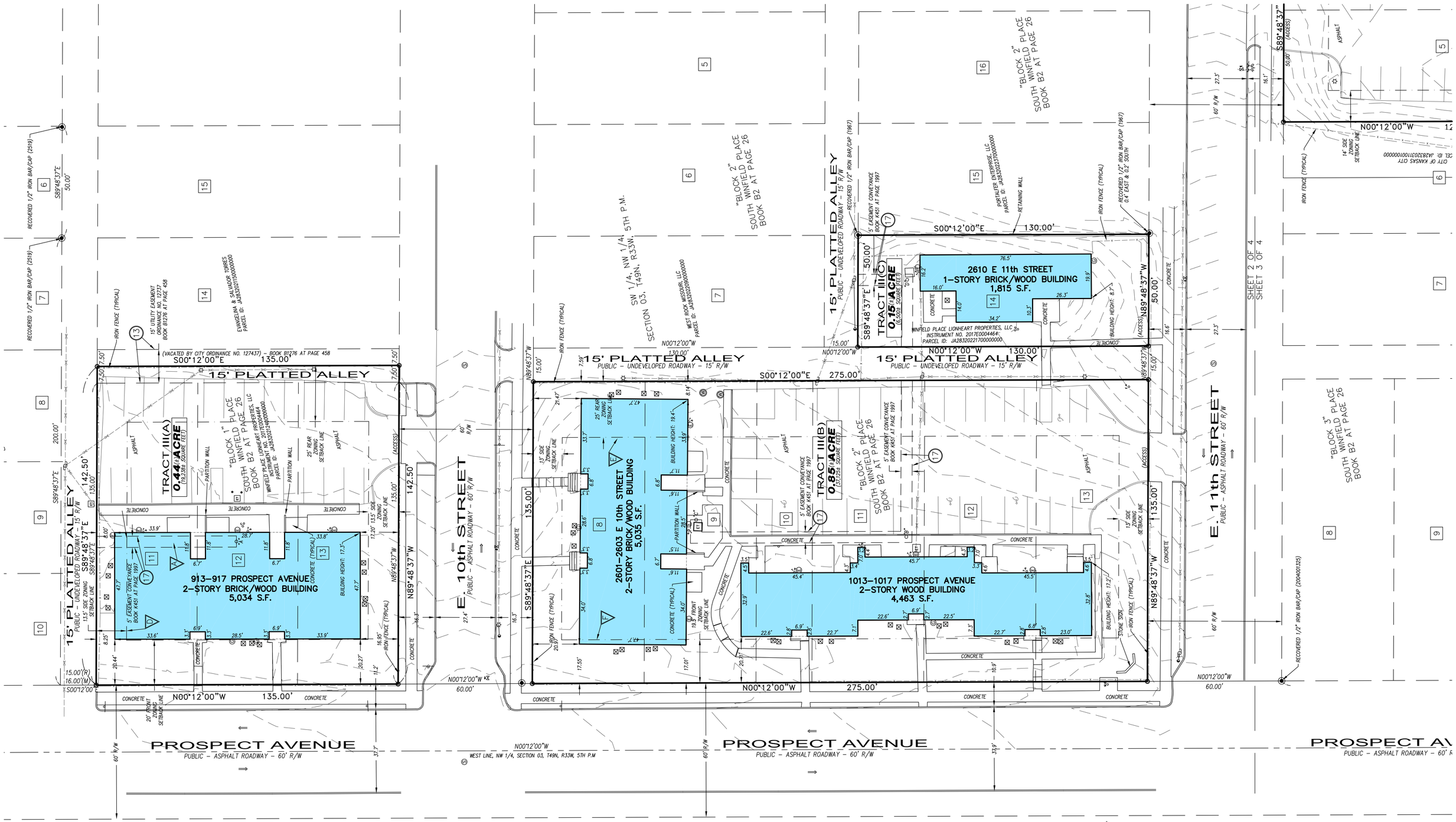
MICHAEL L. TAYLOR, MO PLS
REGISTRATION NO. LS 2000161238
IN THE STATE OF MISSOURI
DATE OF SURVEY: 07/20/2018
DATE OF LAST REVISION: 11/21/2018

BOCK & CLARK NSN PROJECT NO. 201802749–2

SURVEY PREPARED BY
WHITEHEAD CONSULTANTS, INC. (18–223)
MISSOURI LICENSED CORPORATION LC 331
114 N. MAIN STREET, P.O. BOX 461
CLINTON, MO 64735
PHONE: 660–885–8311
FAX: 660–885–8447
EMAIL: mtaylor@wcieng.com
WEB: www.wcieng.com

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

National Coordinators
1-(800)-SURVEYS (787-8397)
Bock & Clark Corporation
3550 W. Market Street, Suite 200, Akron, Ohio 44333
maywehelpyou@bockandclark.com
www.bockandclark.com



SHEET 2 OF 4

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

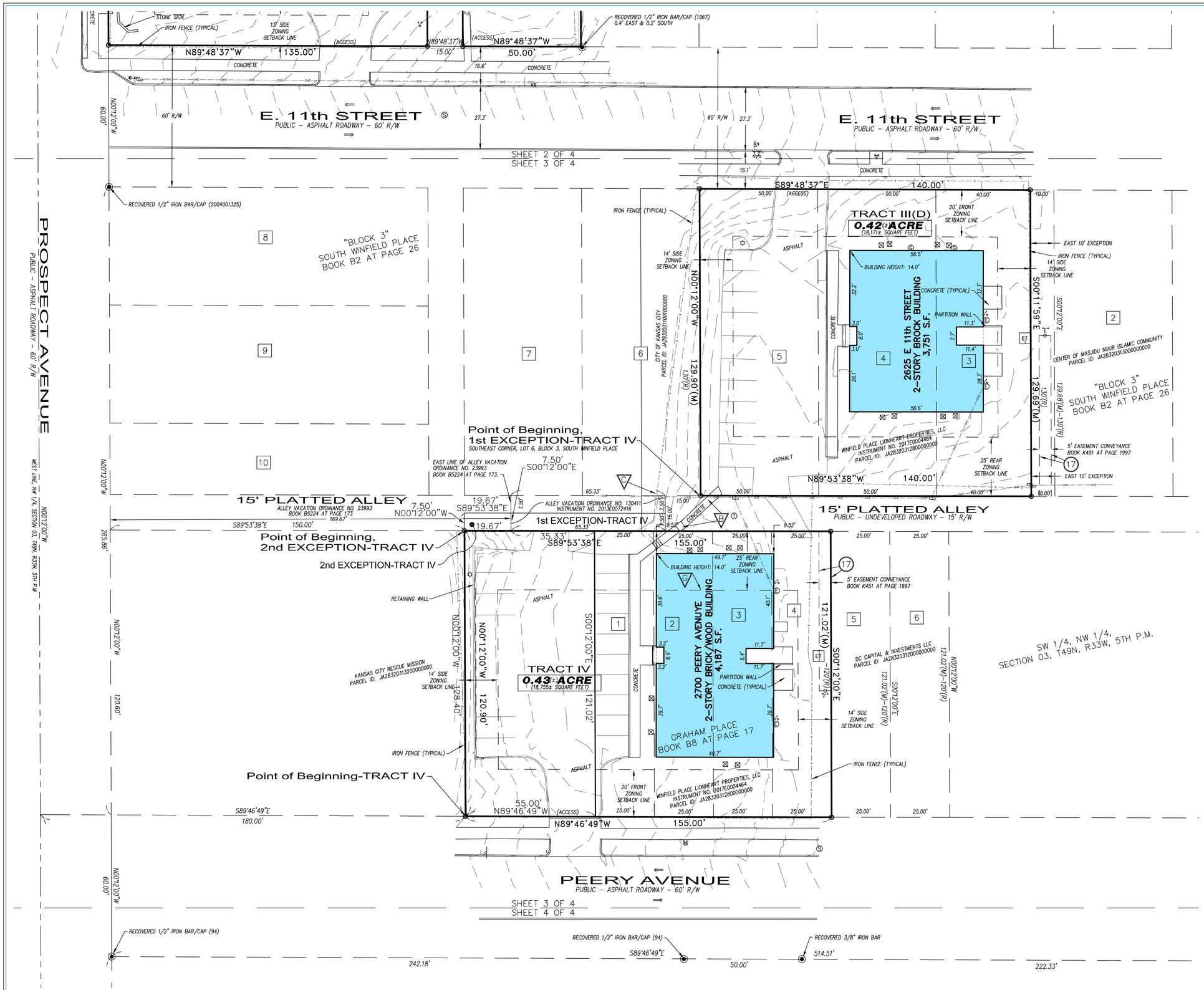
Brighton and Winfield

DATE OF FIELD SURVEY: JULY 20, 2018

BOCK & CLARK NSN PROJECT NO. 201802749-2

1-(800)-SURVEYS (787-8397)

maywehelpyou@bockandclark.com www.bockandclark.com



LEGEND OF SYMBOLS & ABBREVIATIONS

- SURVEY MONUMENT (AS NOTED)
- SET 1/2" IRON BAR/CAP (LC 331)
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- WATER MANHOLE
- FIRE VALVE AUTO CONNECTION
- GAS SERVICE VALVE
- BANK OF 12 GAS SERVICE METERS
- OVERHEAD UTILITY POLE
- OVERHEAD LIGHT POLE
- OVERHEAD UTILITY POLE WITH LIGHT
- GUY WIRE ANCHOR
- SATELLITE RECEIVER DISH
- FLOOD LIGHT
- ELECTRIC PANEL
- ELECTRIC BOX
- ELECTRIC VAULT
- FLAG POLE
- BANK OF 4 ELECTRIC METERS
- POLE SIGN
- MAILBOX
- TELEPHONE PEDESTAL
- SEWER MANHOLE
- SPRINKLER CONTROL VALVE
- CLEAN-OUT
- ELECTRICAL TRANSFORMER
- CABLE TELEVISION PEDESTAL
- CABLE TELEVISION VAULT
- ATT COMMUNICATION VAULT
- UNDERGROUND TELEPHONE MANHOLE
- DRAINAGE MANHOLE
- UNDERGROUND TELEPHONE VAULT
- UNDERGROUND FIBER OPTIC VAULT
- TRAFFIC SIGNAL VAULT
- GATE SENSOR EYE
- UNDERGROUND FIBER OPTIC SIGN
- UNDERGROUND GAS LINE SIGN
- GATE METER BOX
- HVAC UNIT / HEAT PUMP
- AREA INLET
- MONITORING WELL
- KEY PAD
- OVERHEAD ELECTRIC LINE
- EXISTING FENCE LINE
- N NORTH
- E EAST
- S SOUTH
- W WEST
- R/W RIGHT-OF-WAY
- AC. ACRES
- S.F. SQUARE FEET
- ℄ CENTERLINE
- 3 PLATTED BLOCK NUMBER
- APPARENT TRAFFIC DIRECTION FLOW ARROWS

SHEET 3 OF 4

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

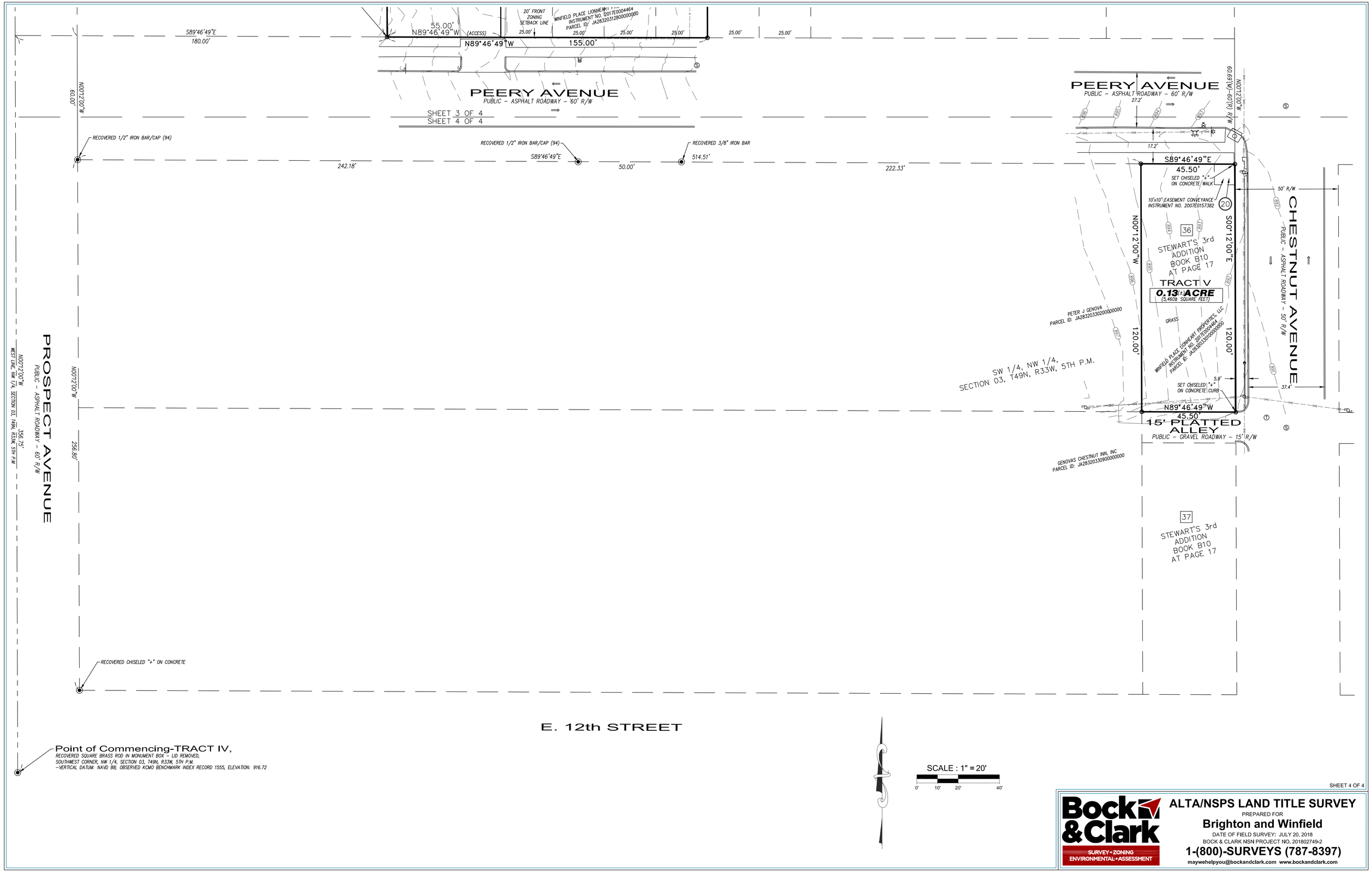
Brighton and Winfield

DATE OF FIELD SURVEY: JULY 20, 2018

BOCK & CLARK NSN PROJECT NO. 201802749-2

1-(800)-SURVEYS (787-8397)

maywehelpyou@bockandclark.com www.bockandclark.com



SHEET 4 OF 4

Bock & Clark
SURVEY • ZONING
ENVIRONMENTAL • ASSESSMENT

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR

Brighton and Winfield

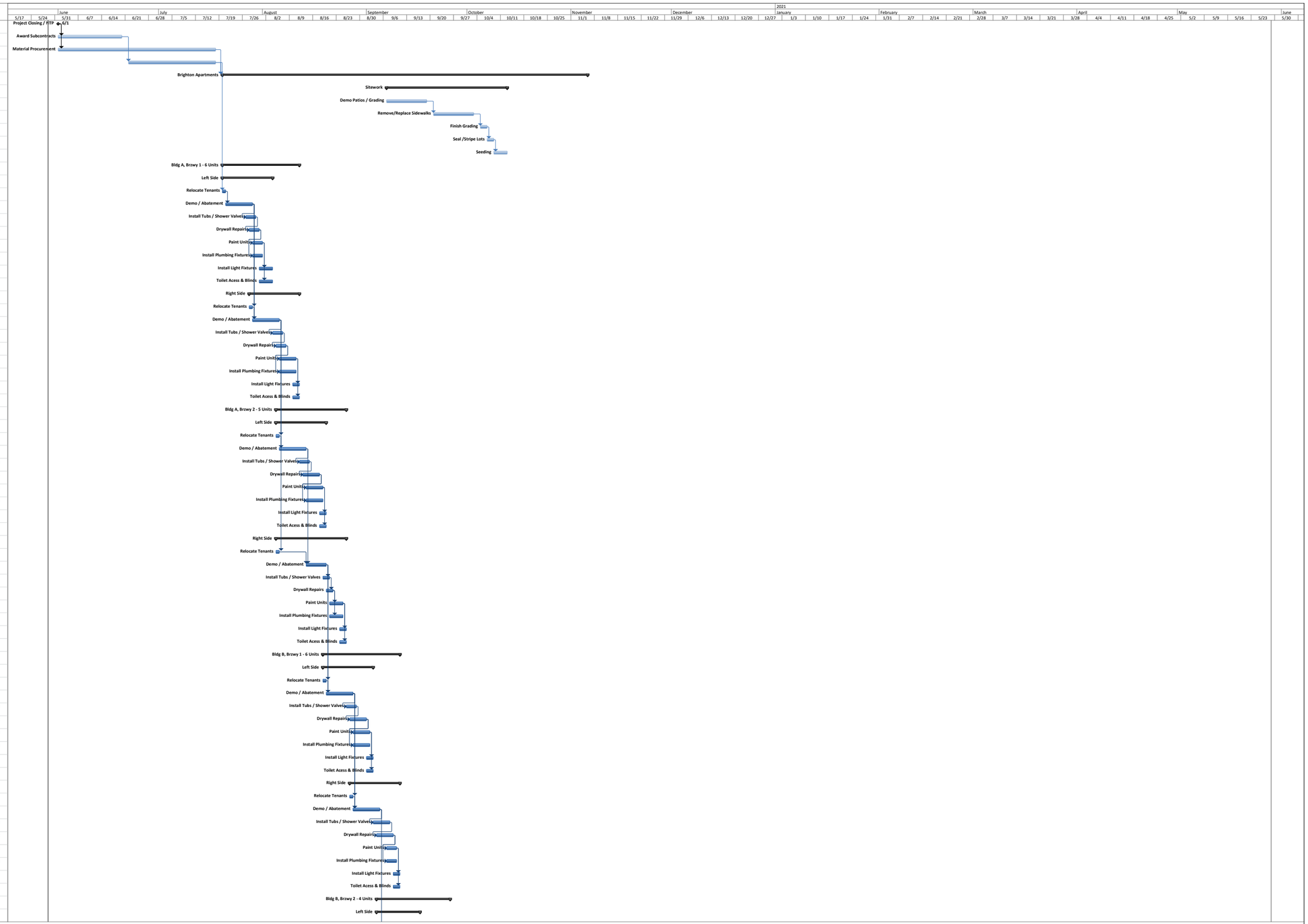
DATE OF FIELD SURVEY: JULY 20, 2018

BOCK & CLARK NSN PROJECT NO. 201802749-2

1-(800)-SURVEYS (787-8397)

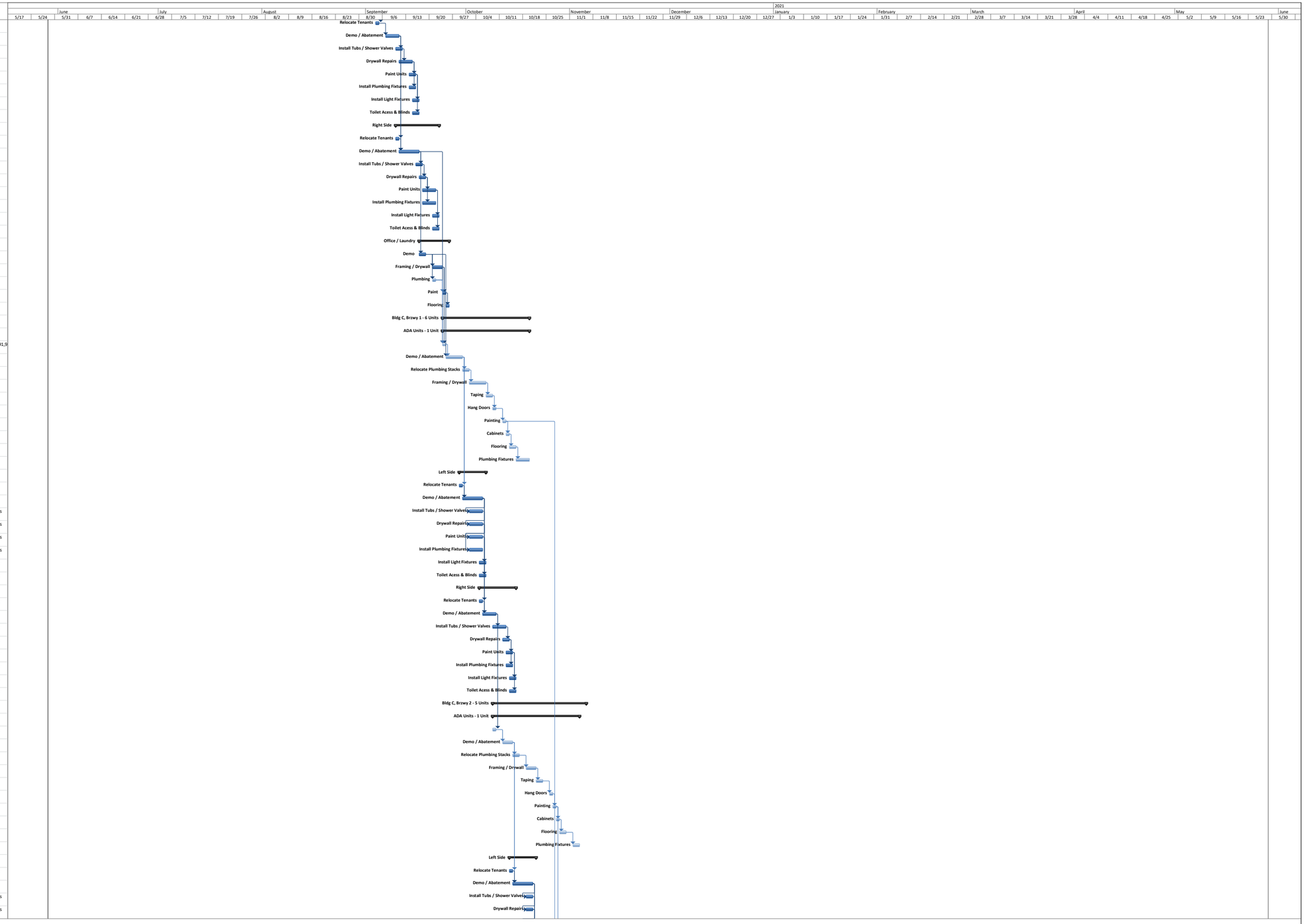
maywehelpyou@bockandclark.com www.bockandclark.com

ID	Task Name	Duration	Start	Finish	Predecessors
1	Project Closing / NTP	0 days	Mon 6/1/20	Mon 6/1/20	
2	Award Subcontracts	15 days	Mon 6/1/20	Fri 6/19/20	1
3	Material Procurement	35 days	Mon 6/1/20	Fri 7/17/20	1
4	Mobilization	20 days	Mon 6/22/20	Fri 7/17/20	2
5	**Brighton Apartments**	**79 days**	**Mon 7/20/20**	**Thu 11/5/20**	**3,4**
6	**Sitework**	**26 days**	**Mon 9/7/20**	**Mon 10/12/20**	
7	Demo Patios / Grading	10 days	Mon 9/7/20	Fri 9/18/20	
8	Remove/Replace Sidewalks	10 days	Mon 9/21/20	Fri 10/2/20	7
9	Finish Grading	2 days	Mon 10/5/20	Tue 10/6/20	8
10	Seal /Stripe Lots	2 days	Wed 10/7/20	Thu 10/8/20	9
11	Seeding	2 days	Fri 10/9/20	Mon 10/12/20	10
12	**Bldg A, Brzwy 1 - 6 Units**	**17 days**	**Mon 7/20/20**	**Tue 8/11/20**	
13	**Left Side**	**11 days**	**Mon 7/20/20**	**Mon 8/3/20**	
14	Relocate Tenants	1 day	Mon 7/20/20	Mon 7/20/20	4
15	Demo / Abatement	6 days	Tue 7/21/20	Tue 7/28/20	14
16	Install Tubs / Shower Valves	3 days	Mon 7/27/20	Wed 7/29/20	15FS-2 days
17	Drywall Repairs	3 days	Tue 7/28/20	Thu 7/30/20	16FS-2 days
18	Paint Units	3 days	Wed 7/29/20	Fri 7/31/20	17FS-2 days
19	Install Plumbing Fixtures	3 days	Wed 7/29/20	Fri 7/31/20	17FS-2 days
20	Install Light Fixtures	2 days	Fri 7/31/20	Mon 8/3/20	18FS-1 day
21	Toilet Acess & Blinds	2 days	Fri 7/31/20	Mon 8/3/20	18FS-1 day
22	**Right Side**	**11 days**	**Tue 7/28/20**	**Tue 8/11/20**	
23	Relocate Tenants	1 day	Tue 7/28/20	Tue 7/28/20	15FS-1 day
24	Demo / Abatement	6 days	Wed 7/29/20	Wed 8/5/20	23,15
25	Install Tubs / Shower Valves	3 days	Tue 8/4/20	Thu 8/6/20	24FS-2 days
26	Drywall Repairs	3 days	Wed 8/5/20	Fri 8/7/20	25FS-2 days
27	Paint Units	3 days	Thu 8/6/20	Mon 8/10/20	26FS-2 days
28	Install Plumbing Fixtures	3 days	Thu 8/6/20	Mon 8/10/20	26FS-2 days
29	Install Light Fixtures	2 days	Mon 8/10/20	Tue 8/11/20	27FS-1 day
30	Toilet Acess & Blinds	2 days	Mon 8/10/20	Tue 8/11/20	27FS-1 day
31	**Bldg A, Brzwy 2 - 5 Units**	**15 days**	**Wed 8/5/20**	**Tue 8/25/20**	
32	**Left Side**	**11 days**	**Wed 8/5/20**	**Wed 8/19/20**	
33	Relocate Tenants	1 day	Wed 8/5/20	Wed 8/5/20	24FS-1 day
34	Demo / Abatement	6 days	Thu 8/6/20	Thu 8/13/20	24
35	Install Tubs / Shower Valves	3 days	Wed 8/12/20	Fri 8/14/20	34FS-2 days
36	Drywall Repairs	3 days	Thu 8/13/20	Mon 8/17/20	35FS-2 days
37	Paint Units	3 days	Fri 8/14/20	Tue 8/18/20	36FS-2 days
38	Install Plumbing Fixtures	3 days	Fri 8/14/20	Tue 8/18/20	36FS-2 days
39	Install Light Fixtures	2 days	Tue 8/18/20	Wed 8/19/20	37FS-1 day
40	Toilet Acess & Blinds	2 days	Tue 8/18/20	Wed 8/19/20	37FS-1 day
41	**Right Side**	**15 days**	**Wed 8/5/20**	**Tue 8/25/20**	
42	Relocate Tenants	1 day	Wed 8/5/20	Wed 8/5/20	33FS-1 day
43	Demo / Abatement	4 days	Fri 8/14/20	Wed 8/19/20	34,42
44	Install Tubs / Shower Valves	2 days	Wed 8/19/20	Thu 8/20/20	43FS-1 day
45	Drywall Repairs	2 days	Thu 8/20/20	Fri 8/21/20	44FS-1 day
46	Paint Units	2 days	Fri 8/21/20	Mon 8/24/20	45FS-1 day
47	Install Plumbing Fixtures	2 days	Fri 8/21/20	Mon 8/24/20	45FS-1 day
48	Install Light Fixtures	2 days	Mon 8/24/20	Tue 8/25/20	46FS-1 day
49	Toilet Acess & Blinds	2 days	Mon 8/24/20	Tue 8/25/20	46FS-1 day
50	**Bldg B, Brzwy 1 - 6 Units**	**17 days**	**Wed 8/19/20**	**Thu 9/10/20**	
51	**Left Side**	**11 days**	**Wed 8/19/20**	**Wed 9/2/20**	
52	Relocate Tenants	1 day	Wed 8/19/20	Wed 8/19/20	43FS-1 day
53	Demo / Abatement	6 days	Thu 8/20/20	Thu 8/27/20	52,43
54	Install Tubs / Shower Valves	3 days	Wed 8/26/20	Fri 8/28/20	53FS-2 days
55	Drywall Repairs	3 days	Thu 8/27/20	Mon 8/31/20	54FS-2 days
56	Paint Units	3 days	Fri 8/28/20	Tue 9/1/20	55FS-2 days
57	Install Plumbing Fixtures	3 days	Fri 8/28/20	Tue 9/1/20	55FS-2 days
58	Install Light Fixtures	2 days	Tue 9/1/20	Wed 9/2/20	56FS-1 day
59	Toilet Acess & Blinds	2 days	Tue 9/1/20	Wed 9/2/20	56FS-1 day
60	**Right Side**	**11 days**	**Thu 8/27/20**	**Thu 9/10/20**	
61	Relocate Tenants	1 day	Thu 8/27/20	Thu 8/27/20	53FS-1 day
62	Demo / Abatement	6 days	Fri 8/28/20	Fri 9/4/20	53,61
63	Install Tubs / Shower Valves	3 days	Thu 9/3/20	Mon 9/7/20	62FS-2 days
64	Drywall Repairs	3 days	Fri 9/4/20	Tue 9/8/20	63FS-2 days
65	Paint Units	3 days	Mon 9/7/20	Wed 9/9/20	64FS-2 days
66	Install Plumbing Fixtures	3 days	Mon 9/7/20	Wed 9/9/20	64FS-2 days
67	Install Light Fixtures	2 days	Wed 9/9/20	Thu 9/10/20	65FS-1 day
68	Toilet Acess & Blinds	2 days	Wed 9/9/20	Thu 9/10/20	65FS-1 day
69	**Bldg B, Brzwy 2 - 4 Units**	**16 days**	**Fri 9/4/20**	**Fri 9/25/20**	
70	**Left Side**	**9 days**	**Fri 9/4/20**	**Wed 9/16/20**	

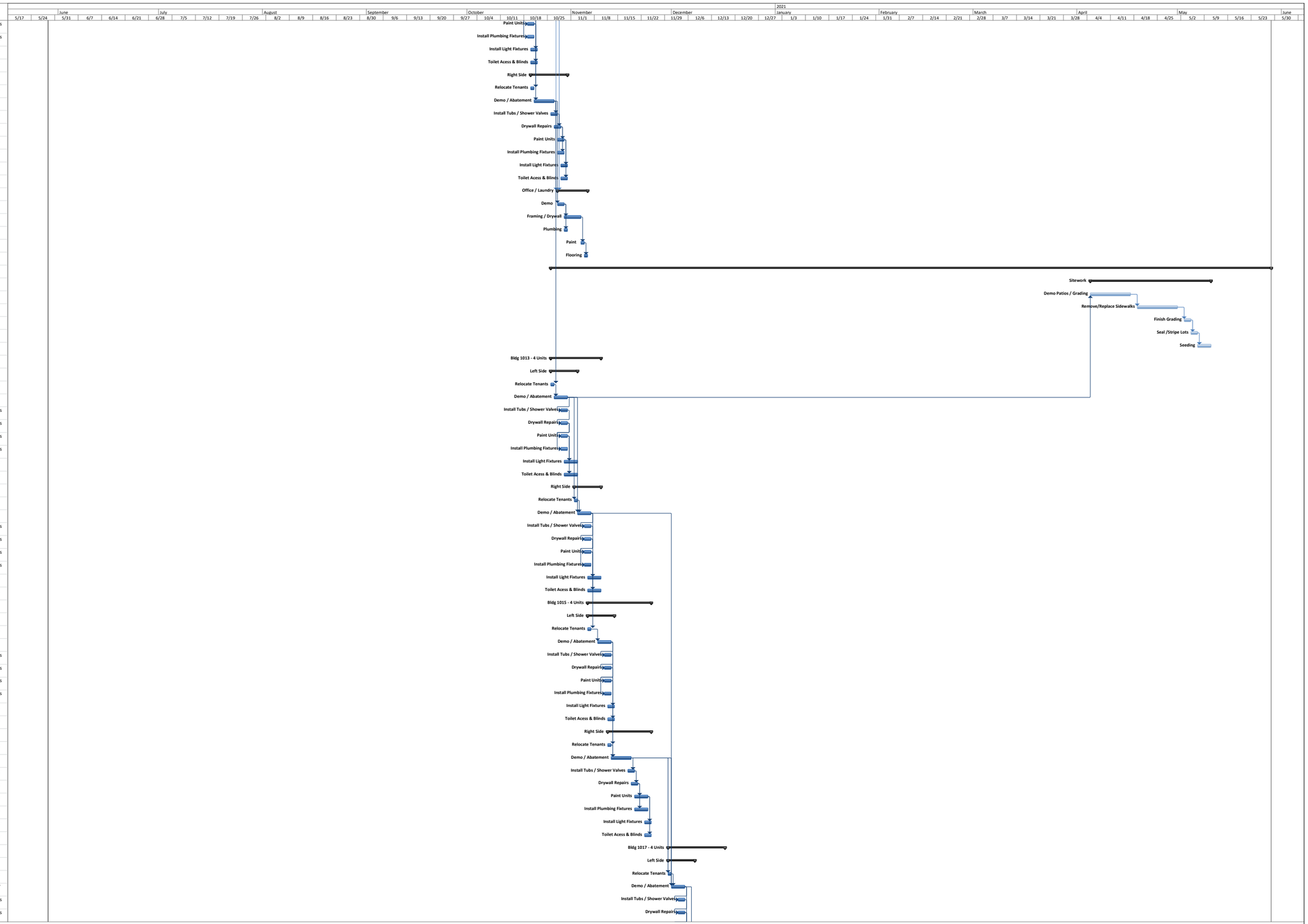


ROANOKE

ID	Task Name	Duration	Start	Finish	Predecessors
71	Relocate Tenants	1 day	Fri 9/4/20	Fri 9/4/20	62FS-1 day
72	Demo / Abatement	4 days	Mon 9/7/20	Thu 9/10/20	71
73	Install Tubs / Shower Valves	2 days	Thu 9/10/20	Fri 9/11/20	72FS-1 day
74	Drywall Repairs	2 days	Fri 9/11/20	Mon 9/14/20	73FS-1 day
75	Paint Units	2 days	Mon 9/14/20	Tue 9/15/20	74FS-1 day
76	Install Plumbing Fixtures	2 days	Mon 9/14/20	Tue 9/15/20	74FS-1 day
77	Install Light Fixtures	2 days	Tue 9/15/20	Wed 9/16/20	75FS-1 day
78	Toilet Acess & Blinds	2 days	Tue 9/15/20	Wed 9/16/20	75FS-1 day
79	**Right Side**	**9 days**	**Thu 9/10/20**	**Tue 9/22/20**	
80	Relocate Tenants	1 day	Thu 9/10/20	Thu 9/10/20	72FS-1 day
81	Demo / Abatement	4 days	Fri 9/11/20	Wed 9/16/20	72,80
82	Install Tubs / Shower Valves	2 days	Wed 9/16/20	Thu 9/17/20	81FS-1 day
83	Drywall Repairs	2 days	Thu 9/17/20	Fri 9/18/20	82FS-1 day
84	Paint Units	2 days	Fri 9/18/20	Mon 9/21/20	83FS-1 day
85	Install Plumbing Fixtures	2 days	Fri 9/18/20	Mon 9/21/20	83FS-1 day
86	Install Light Fixtures	2 days	Mon 9/21/20	Tue 9/22/20	84FS-1 day
87	Toilet Acess & Blinds	2 days	Mon 9/21/20	Tue 9/22/20	84FS-1 day
88	**Office / Laundry**	**7 days**	**Thu 9/17/20**	**Fri 9/25/20**	
89	Demo	2 days	Thu 9/17/20	Fri 9/18/20	81
90	Framing / Drywall	3 days	Mon 9/21/20	Wed 9/23/20	89
91	Plumbing	1 day	Mon 9/21/20	Mon 9/21/20	89
92	Paint	1 day	Thu 9/24/20	Thu 9/24/20	90,91
93	Flooring	1 day	Fri 9/25/20	Fri 9/25/20	92
94	**Bldg C, Brzwy 1 - 6 Units**	**18 days**	**Thu 9/24/20**	**Mon 10/19/20**	
95	**ADA Units - 1 Unit**	**18 days**	**Thu 9/24/20**	**Mon 10/19/20**	
96	Relocate Tenants	1 day	Thu 9/24/20	Thu 9/24/20	81FS-1 day,91,9
97	Demo / Abatement	3 days	Fri 9/25/20	Tue 9/29/20	96,89
98	Relocate Plumbing Stacks	2 days	Wed 9/30/20	Thu 10/1/20	97
99	Framing / Drywall	3 days	Fri 10/2/20	Tue 10/6/20	98
100	Taping	2 days	Wed 10/7/20	Thu 10/8/20	99
101	Hang Doors	1 day	Fri 10/9/20	Fri 10/9/20	100
102	Painting	1 day	Mon 10/12/20	Mon 10/12/20	101
103	Cabinets	1 day	Tue 10/13/20	Tue 10/13/20	102
104	Flooring	2 days	Wed 10/14/20	Thu 10/15/20	103
105	Plumbing Fixtures	2 days	Fri 10/16/20	Mon 10/19/20	104
106	**Left Side**	**6 days**	**Tue 9/29/20**	**Tue 10/6/20**	
107	Relocate Tenants	1 day	Tue 9/29/20	Tue 9/29/20	97FS-1 day
108	Demo / Abatement	4 days	Wed 9/30/20	Mon 10/5/20	107,97
109	Install Tubs / Shower Valves	2 days	Fri 10/2/20	Mon 10/5/20	108FS-2 days
110	Drywall Repairs	2 days	Fri 10/2/20	Mon 10/5/20	109FS-2 days
111	Paint Units	2 days	Fri 10/2/20	Mon 10/5/20	110FS-2 days
112	Install Plumbing Fixtures	2 days	Fri 10/2/20	Mon 10/5/20	110FS-2 days
113	Install Light Fixtures	2 days	Mon 10/5/20	Tue 10/6/20	111FS-1 day
114	Toilet Acess & Blinds	2 days	Mon 10/5/20	Tue 10/6/20	111FS-1 day
115	**Right Side**	**9 days**	**Mon 10/5/20**	**Thu 10/15/20**	
116	Relocate Tenants	1 day	Mon 10/5/20	Mon 10/5/20	108FS-1 day
117	Demo / Abatement	4 days	Tue 10/6/20	Fri 10/9/20	108,116
118	Install Tubs / Shower Valves	2 days	Fri 10/9/20	Mon 10/12/20	117FS-1 day
119	Drywall Repairs	2 days	Mon 10/12/20	Tue 10/13/20	118FS-1 day
120	Paint Units	2 days	Tue 10/13/20	Wed 10/14/20	119FS-1 day
121	Install Plumbing Fixtures	2 days	Tue 10/13/20	Wed 10/14/20	119FS-1 day
122	Install Light Fixtures	2 days	Wed 10/14/20	Thu 10/15/20	120FS-1 day
123	Toilet Acess & Blinds	2 days	Wed 10/14/20	Thu 10/15/20	120FS-1 day
124	**Bldg C, Brzwy 2 - 5 Units**	**20 days**	**Fri 10/9/20**	**Thu 11/5/20**	
125	**ADA Units - 1 Unit**	**18 days**	**Fri 10/9/20**	**Tue 11/3/20**	
126	Relocate Tenants	1 day	Fri 10/9/20	Fri 10/9/20	117FS-1 day
127	Demo / Abatement	3 days	Mon 10/12/20	Wed 10/14/20	126
128	Relocate Plumbing Stacks	2 days	Thu 10/15/20	Fri 10/16/20	127
129	Framing / Drywall	3 days	Mon 10/19/20	Wed 10/21/20	128
130	Taping	2 days	Thu 10/22/20	Fri 10/23/20	129
131	Hang Doors	1 day	Mon 10/26/20	Mon 10/26/20	130
132	Painting	1 day	Tue 10/27/20	Tue 10/27/20	131
133	Cabinets	1 day	Wed 10/28/20	Wed 10/28/20	132
134	Flooring	2 days	Thu 10/29/20	Fri 10/30/20	133
135	Plumbing Fixtures	2 days	Mon 11/2/20	Tue 11/3/20	134
136	**Left Side**	**6 days**	**Wed 10/14/20**	**Wed 10/21/20**	
137	Relocate Tenants	1 day	Wed 10/14/20	Wed 10/14/20	127FS-1 day
138	Demo / Abatement	4 days	Thu 10/15/20	Tue 10/20/20	127,137
139	Install Tubs / Shower Valves	2 days	Mon 10/19/20	Tue 10/20/20	138FS-2 days
140	Drywall Repairs	2 days	Mon 10/19/20	Tue 10/20/20	139FS-2 days

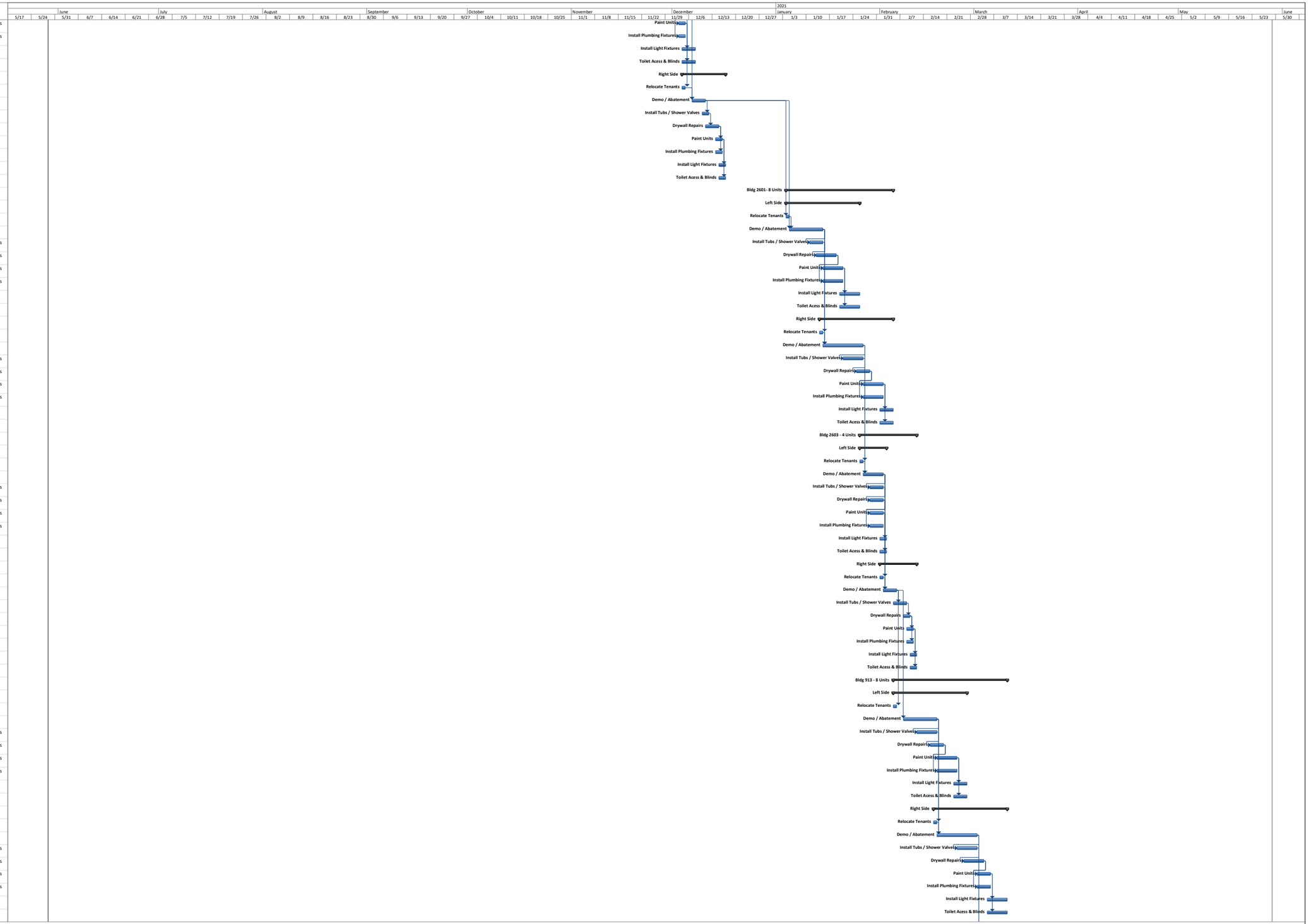


ID	Task Name	Duration	Start	Finish	Predecessors
141	Paint Units	2 days	Mon 10/19/20	Tue 10/20/20	140FS-2 days
142	Install Plumbing Fixtures	2 days	Mon 10/19/20	Tue 10/20/20	140FS-2 days
143	Install Light Fixtures	2 days	Tue 10/20/20	Wed 10/21/20	141FS-1 day
144	Toilet Acess & Blinds	2 days	Tue 10/20/20	Wed 10/21/20	141FS-1 day
145	**Right Side**	**9 days**	**Tue 10/20/20**	**Fri 10/30/20**	
146	Relocate Tenants	1 day	Tue 10/20/20	Tue 10/20/20	138FS-1 day
147	Demo / Abatement	4 days	Wed 10/21/20	Mon 10/26/20	138
148	Install Tubs / Shower Valves	2 days	Mon 10/26/20	Tue 10/27/20	147FS-1 day
149	Drywall Repairs	2 days	Tue 10/27/20	Wed 10/28/20	148FS-1 day
150	Paint Units	2 days	Wed 10/28/20	Thu 10/29/20	149FS-1 day
151	Install Plumbing Fixtures	2 days	Wed 10/28/20	Thu 10/29/20	149FS-1 day
152	Install Light Fixtures	2 days	Thu 10/29/20	Fri 10/30/20	150FS-1 day
153	Toilet Acess & Blinds	2 days	Thu 10/29/20	Fri 10/30/20	150FS-1 day
154	**Office / Laundry**	**7 days**	**Wed 10/28/20**	**Thu 11/5/20**	**102,132**
155	Demo	2 days	Wed 10/28/20	Thu 10/29/20	147
156	Framing / Drywall	3 days	Fri 10/30/20	Tue 11/3/20	155
157	Plumbing	1 day	Fri 10/30/20	Fri 10/30/20	155
158	Paint	1 day	Wed 11/4/20	Wed 11/4/20	156
159	Flooring	1 day	Thu 11/5/20	Thu 11/5/20	158
160	**Winfield Apartments**	**155 days**	**Mon 10/26/20**	**Fri 5/28/21**	
161	**Sitework**	**26 days**	**Mon 4/5/21**	**Mon 5/10/21**	
162	Demo Patios / Grading	10 days	Mon 4/5/21	Fri 4/16/21	170
163	Remove/Replace Sidewalks	10 days	Mon 4/19/21	Fri 4/30/21	162
164	Finish Grading	2 days	Mon 5/3/21	Tue 5/4/21	163
165	Seal /Stripe Lots	2 days	Wed 5/5/21	Thu 5/6/21	164
166	Seeding	2 days	Fri 5/7/21	Mon 5/10/21	165
167	**Bldg 1013 - 4 Units**	**11 days**	**Mon 10/26/20**	**Mon 11/9/20**	
168	**Left Side**	**6 days**	**Mon 10/26/20**	**Mon 11/2/20**	
169	Relocate Tenants	1 day	Mon 10/26/20	Mon 10/26/20	147FS-1 day
170	Demo / Abatement	4 days	Tue 10/27/20	Fri 10/30/20	169
171	Install Tubs / Shower Valves	2 days	Thu 10/29/20	Fri 10/30/20	170FS-2 days
172	Drywall Repairs	2 days	Thu 10/29/20	Fri 10/30/20	171FS-2 days
173	Paint Units	2 days	Thu 10/29/20	Fri 10/30/20	172FS-2 days
174	Install Plumbing Fixtures	2 days	Thu 10/29/20	Fri 10/30/20	172FS-2 days
175	Install Light Fixtures	2 days	Fri 10/30/20	Mon 11/2/20	173FS-1 day
176	Toilet Acess & Blinds	2 days	Fri 10/30/20	Mon 11/2/20	173FS-1 day
177	**Right Side**	**6 days**	**Mon 11/2/20**	**Mon 11/9/20**	
178	Relocate Tenants	1 day	Mon 11/2/20	Mon 11/2/20	170
179	Demo / Abatement	4 days	Tue 11/3/20	Fri 11/6/20	170,178
180	Install Tubs / Shower Valves	2 days	Thu 11/5/20	Fri 11/6/20	179FS-2 days
181	Drywall Repairs	2 days	Thu 11/5/20	Fri 11/6/20	180FS-2 days
182	Paint Units	2 days	Thu 11/5/20	Fri 11/6/20	181FS-2 days
183	Install Plumbing Fixtures	2 days	Thu 11/5/20	Fri 11/6/20	181FS-2 days
184	Install Light Fixtures	2 days	Fri 11/6/20	Mon 11/9/20	182FS-1 day
185	Toilet Acess & Blinds	2 days	Fri 11/6/20	Mon 11/9/20	182FS-1 day
186	**Bldg 1015 - 4 Units**	**13 days**	**Fri 11/6/20**	**Tue 11/24/20**	
187	**Left Side**	**6 days**	**Fri 11/6/20**	**Fri 11/13/20**	
188	Relocate Tenants	1 day	Fri 11/6/20	Fri 11/6/20	179FS-1 day
189	Demo / Abatement	4 days	Mon 11/9/20	Thu 11/12/20	188
190	Install Tubs / Shower Valves	2 days	Wed 11/11/20	Thu 11/12/20	189FS-2 days
191	Drywall Repairs	2 days	Wed 11/11/20	Thu 11/12/20	190FS-2 days
192	Paint Units	2 days	Wed 11/11/20	Thu 11/12/20	191FS-2 days
193	Install Plumbing Fixtures	2 days	Wed 11/11/20	Thu 11/12/20	191FS-2 days
194	Install Light Fixtures	2 days	Thu 11/12/20	Fri 11/13/20	192FS-1 day
195	Toilet Acess & Blinds	2 days	Thu 11/12/20	Fri 11/13/20	192FS-1 day
196	**Right Side**	**9 days**	**Thu 11/12/20**	**Tue 11/24/20**	
197	Relocate Tenants	1 day	Thu 11/12/20	Thu 11/12/20	189FS-1 day
198	Demo / Abatement	4 days	Fri 11/13/20	Wed 11/18/20	189,197
199	Install Tubs / Shower Valves	2 days	Wed 11/18/20	Thu 11/19/20	198FS-1 day
200	Drywall Repairs	2 days	Thu 11/19/20	Fri 11/20/20	199FS-1 day
201	Paint Units	2 days	Fri 11/20/20	Mon 11/23/20	200FS-1 day
202	Install Plumbing Fixtures	2 days	Fri 11/20/20	Mon 11/23/20	200FS-1 day
203	Install Light Fixtures	2 days	Mon 11/23/20	Tue 11/24/20	201FS-1 day
204	Toilet Acess & Blinds	2 days	Mon 11/23/20	Tue 11/24/20	201FS-1 day
205	**Bldg 1017 - 4 Units**	**13 days**	**Mon 11/30/20**	**Wed 12/16/20**	
206	**Left Side**	**6 days**	**Mon 11/30/20**	**Mon 12/7/20**	
207	Relocate Tenants	1 day	Mon 11/30/20	Mon 11/30/20	198FS-1 day
208	Demo / Abatement	4 days	Tue 12/1/20	Fri 12/4/20	179,198,207
209	Install Tubs / Shower Valves	2 days	Thu 12/3/20	Fri 12/4/20	208FS-2 days
210	Drywall Repairs	2 days	Thu 12/3/20	Fri 12/4/20	209FS-2 days



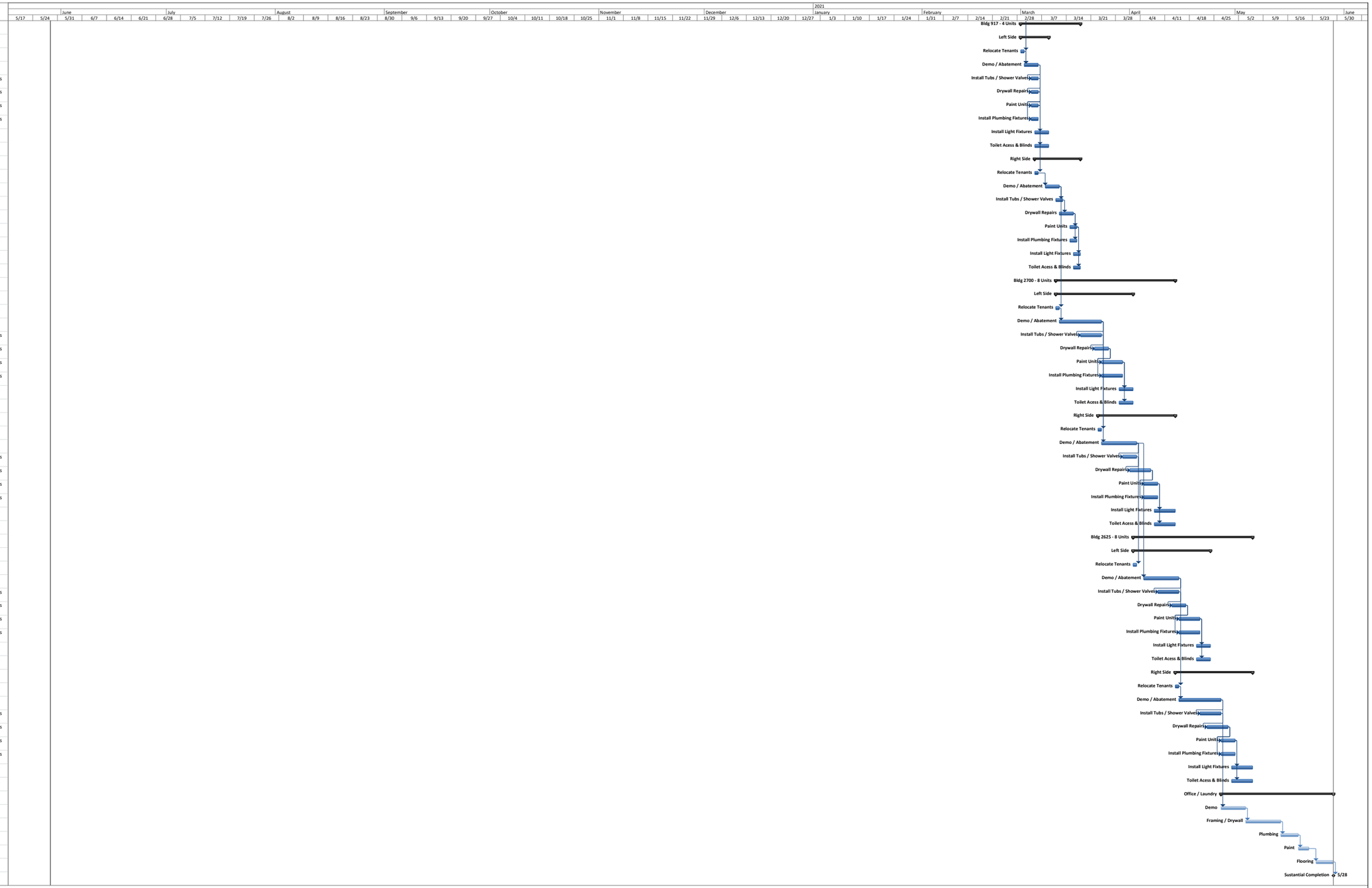
ROANOKE

ID	Task Name	Duration	Start	Finish	Predecessors
211	Paint Units	2 days	Thu 12/3/20	Fri 12/4/20	210FS-2 days
212	Install Plumbing Fixtures	2 days	Thu 12/3/20	Fri 12/4/20	210FS-2 days
213	Install Light Fixtures	2 days	Fri 12/4/20	Mon 12/7/20	211FS-1 day
214	Toilet Acess & Blinds	2 days	Fri 12/4/20	Mon 12/7/20	211FS-1 day
215	**Right Side**	**9 days**	**Fri 12/4/20**	**Wed 12/16/20**	
216	Relocate Tenants	1 day	Fri 12/4/20	Fri 12/4/20	208FS-1 day
217	Demo / Abatement	4 days	Mon 12/7/20	Thu 12/10/20	208,216
218	Install Tubs / Shower Valves	2 days	Thu 12/10/20	Fri 12/11/20	217FS-1 day
219	Drywall Repairs	2 days	Fri 12/11/20	Mon 12/14/20	218FS-1 day
220	Paint Units	2 days	Mon 12/14/20	Tue 12/15/20	219FS-1 day
221	Install Plumbing Fixtures	2 days	Mon 12/14/20	Tue 12/15/20	219FS-1 day
222	Install Light Fixtures	2 days	Tue 12/15/20	Wed 12/16/20	220FS-1 day
223	Toilet Acess & Blinds	2 days	Tue 12/15/20	Wed 12/16/20	220FS-1 day
224	**Bldg 2601- 8 Units**	**24 days**	**Mon 1/4/21**	**Thu 2/4/21**	
225	**Left Side**	**16 days**	**Mon 1/4/21**	**Mon 1/25/21**	
226	Relocate Tenants	1 day	Mon 1/4/21	Mon 1/4/21	217FS-1 day
227	Demo / Abatement	8 days	Tue 1/5/21	Thu 1/14/21	217,226
228	Install Tubs / Shower Valves	4 days	Mon 1/11/21	Thu 1/14/21	227FS-4 days
229	Drywall Repairs	4 days	Wed 1/13/21	Mon 1/18/21	228FS-2 days
230	Paint Units	4 days	Fri 1/15/21	Wed 1/20/21	229FS-2 days
231	Install Plumbing Fixtures	4 days	Fri 1/15/21	Wed 1/20/21	229FS-2 days
232	Install Light Fixtures	4 days	Wed 1/20/21	Mon 1/25/21	230FS-1 day
233	Toilet Acess & Blinds	4 days	Wed 1/20/21	Mon 1/25/21	230FS-1 day
234	**Right Side**	**16 days**	**Thu 1/14/21**	**Thu 2/4/21**	
235	Relocate Tenants	1 day	Thu 1/14/21	Thu 1/14/21	227FS-1 day
236	Demo / Abatement	8 days	Fri 1/15/21	Tue 1/26/21	227,235
237	Install Tubs / Shower Valves	4 days	Thu 1/21/21	Tue 1/26/21	236FS-4 days
238	Drywall Repairs	4 days	Mon 1/25/21	Thu 1/28/21	237FS-2 days
239	Paint Units	4 days	Wed 1/27/21	Mon 2/1/21	238FS-2 days
240	Install Plumbing Fixtures	4 days	Wed 1/27/21	Mon 2/1/21	238FS-2 days
241	Install Light Fixtures	4 days	Mon 2/1/21	Thu 2/4/21	239FS-1 day
242	Toilet Acess & Blinds	4 days	Mon 2/1/21	Thu 2/4/21	239FS-1 day
243	**Bldg 2603 - 4 Units**	**13 days**	**Tue 1/26/21**	**Thu 2/11/21**	
244	**Left Side**	**6 days**	**Tue 1/26/21**	**Tue 2/2/21**	
245	Relocate Tenants	1 day	Tue 1/26/21	Tue 1/26/21	236FS-1 day
246	Demo / Abatement	4 days	Wed 1/27/21	Mon 2/1/21	236,245
247	Install Tubs / Shower Valves	2 days	Fri 1/29/21	Mon 2/1/21	246FS-2 days
248	Drywall Repairs	2 days	Fri 1/29/21	Mon 2/1/21	247FS-2 days
249	Paint Units	2 days	Fri 1/29/21	Mon 2/1/21	248FS-2 days
250	Install Plumbing Fixtures	2 days	Fri 1/29/21	Mon 2/1/21	248FS-2 days
251	Install Light Fixtures	2 days	Mon 2/1/21	Tue 2/2/21	249FS-1 day
252	Toilet Acess & Blinds	2 days	Mon 2/1/21	Tue 2/2/21	249FS-1 day
253	**Right Side**	**9 days**	**Mon 2/1/21**	**Thu 2/11/21**	
254	Relocate Tenants	1 day	Mon 2/1/21	Mon 2/1/21	246FS-1 day
255	Demo / Abatement	4 days	Tue 2/2/21	Fri 2/5/21	246,254
256	Install Tubs / Shower Valves	2 days	Fri 2/5/21	Mon 2/8/21	255FS-1 day
257	Drywall Repairs	2 days	Mon 2/8/21	Tue 2/9/21	256FS-1 day
258	Paint Units	2 days	Tue 2/9/21	Wed 2/10/21	257FS-1 day
259	Install Plumbing Fixtures	2 days	Tue 2/9/21	Wed 2/10/21	257FS-1 day
260	Install Light Fixtures	2 days	Wed 2/10/21	Thu 2/11/21	258FS-1 day
261	Toilet Acess & Blinds	2 days	Wed 2/10/21	Thu 2/11/21	258FS-1 day
262	**Bldg 913 - 8 Units**	**24 days**	**Fri 2/5/21**	**Wed 3/10/21**	
263	**Left Side**	**16 days**	**Fri 2/5/21**	**Fri 2/26/21**	
264	Relocate Tenants	1 day	Fri 2/5/21	Fri 2/5/21	255FS-1 day
265	Demo / Abatement	8 days	Mon 2/8/21	Wed 2/17/21	255
266	Install Tubs / Shower Valves	4 days	Fri 2/12/21	Wed 2/17/21	265FS-4 days
267	Drywall Repairs	4 days	Tue 2/16/21	Fri 2/19/21	266FS-2 days
268	Paint Units	4 days	Thu 2/18/21	Tue 2/23/21	267FS-2 days
269	Install Plumbing Fixtures	4 days	Thu 2/18/21	Tue 2/23/21	267FS-2 days
270	Install Light Fixtures	4 days	Tue 2/23/21	Fri 2/26/21	268FS-1 day
271	Toilet Acess & Blinds	4 days	Tue 2/23/21	Fri 2/26/21	268FS-1 day
272	**Right Side**	**16 days**	**Wed 2/17/21**	**Wed 3/10/21**	
273	Relocate Tenants	1 day	Wed 2/17/21	Wed 2/17/21	265FS-1 day
274	Demo / Abatement	8 days	Thu 2/18/21	Mon 3/1/21	265,273
275	Install Tubs / Shower Valves	4 days	Wed 2/24/21	Mon 3/1/21	274FS-4 days
276	Drywall Repairs	4 days	Fri 2/26/21	Wed 3/3/21	275FS-2 days
277	Paint Units	4 days	Tue 3/2/21	Fri 3/5/21	276FS-2 days
278	Install Plumbing Fixtures	4 days	Tue 3/2/21	Fri 3/5/21	276FS-2 days
279	Install Light Fixtures	4 days	Fri 3/5/21	Wed 3/10/21	277FS-1 day
280	Toilet Acess & Blinds	4 days	Fri 3/5/21	Wed 3/10/21	277FS-1 day



ROANOKE

ID	Task Name	Duration	Start	Finish	Predecessors
281	**Bldg 917 - 4 Units**	**13 days**	**Mon 3/1/21**	**Wed 3/17/21**	
282	**Left Side**	**6 days**	**Mon 3/1/21**	**Mon 3/8/21**	
283	Relocate Tenants	1 day	Mon 3/1/21	Mon 3/1/21	274FS-1 day
284	Demo / Abatement	4 days	Tue 3/2/21	Fri 3/5/21	274,283
285	Install Tubs / Shower Valves	2 days	Thu 3/4/21	Fri 3/5/21	284FS-2 days
286	Drywall Repairs	2 days	Thu 3/4/21	Fri 3/5/21	285FS-2 days
287	Paint Units	2 days	Thu 3/4/21	Fri 3/5/21	286FS-2 days
288	Install Plumbing Fixtures	2 days	Thu 3/4/21	Fri 3/5/21	286FS-2 days
289	Install Light Fixtures	2 days	Fri 3/5/21	Mon 3/8/21	287FS-1 day
290	Toilet Acess & Blinds	2 days	Fri 3/5/21	Mon 3/8/21	287FS-1 day
291	**Right Side**	**9 days**	**Fri 3/5/21**	**Wed 3/17/21**	
292	Relocate Tenants	1 day	Fri 3/5/21	Fri 3/5/21	284FS-1 day
293	Demo / Abatement	4 days	Mon 3/8/21	Thu 3/11/21	292
294	Install Tubs / Shower Valves	2 days	Thu 3/11/21	Fri 3/12/21	293FS-1 day
295	Drywall Repairs	2 days	Fri 3/12/21	Mon 3/15/21	294FS-1 day
296	Paint Units	2 days	Mon 3/15/21	Tue 3/16/21	295FS-1 day
297	Install Plumbing Fixtures	2 days	Mon 3/15/21	Tue 3/16/21	295FS-1 day
298	Install Light Fixtures	2 days	Tue 3/16/21	Wed 3/17/21	296FS-1 day
299	Toilet Acess & Blinds	2 days	Tue 3/16/21	Wed 3/17/21	296FS-1 day
300	**Bldg 2700 - 8 Units**	**24 days**	**Thu 3/11/21**	**Tue 4/13/21**	
301	**Left Side**	**16 days**	**Thu 3/11/21**	**Thu 4/1/21**	
302	Relocate Tenants	1 day	Thu 3/11/21	Thu 3/11/21	293FS-1 day
303	Demo / Abatement	8 days	Fri 3/12/21	Tue 3/23/21	302
304	Install Tubs / Shower Valves	4 days	Thu 3/18/21	Tue 3/23/21	303FS-4 days
305	Drywall Repairs	4 days	Mon 3/22/21	Thu 3/25/21	304FS-2 days
306	Paint Units	4 days	Wed 3/24/21	Mon 3/29/21	305FS-2 days
307	Install Plumbing Fixtures	4 days	Wed 3/24/21	Mon 3/29/21	305FS-2 days
308	Install Light Fixtures	4 days	Mon 3/29/21	Thu 4/1/21	306FS-1 day
309	Toilet Acess & Blinds	4 days	Mon 3/29/21	Thu 4/1/21	306FS-1 day
310	**Right Side**	**16 days**	**Tue 3/23/21**	**Tue 4/13/21**	
311	Relocate Tenants	1 day	Tue 3/23/21	Tue 3/23/21	303FS-1 day
312	Demo / Abatement	8 days	Wed 3/24/21	Fri 4/2/21	303
313	Install Tubs / Shower Valves	4 days	Tue 3/30/21	Fri 4/2/21	312FS-4 days
314	Drywall Repairs	4 days	Thu 4/1/21	Tue 4/6/21	313FS-2 days
315	Paint Units	4 days	Mon 4/5/21	Thu 4/8/21	314FS-2 days
316	Install Plumbing Fixtures	4 days	Mon 4/5/21	Thu 4/8/21	314FS-2 days
317	Install Light Fixtures	4 days	Thu 4/8/21	Tue 4/13/21	315FS-1 day
318	Toilet Acess & Blinds	4 days	Thu 4/8/21	Tue 4/13/21	315FS-1 day
319	**Bldg 2625 - 8 Units**	**24 days**	**Fri 4/2/21**	**Wed 5/5/21**	
320	**Left Side**	**16 days**	**Fri 4/2/21**	**Fri 4/23/21**	
321	Relocate Tenants	1 day	Fri 4/2/21	Fri 4/2/21	312FS-1 day
322	Demo / Abatement	8 days	Mon 4/5/21	Wed 4/14/21	312
323	Install Tubs / Shower Valves	4 days	Fri 4/9/21	Wed 4/14/21	322FS-4 days
324	Drywall Repairs	4 days	Tue 4/13/21	Fri 4/16/21	323FS-2 days
325	Paint Units	4 days	Thu 4/15/21	Tue 4/20/21	324FS-2 days
326	Install Plumbing Fixtures	4 days	Thu 4/15/21	Tue 4/20/21	324FS-2 days
327	Install Light Fixtures	4 days	Tue 4/20/21	Fri 4/23/21	325FS-1 day
328	Toilet Acess & Blinds	4 days	Tue 4/20/21	Fri 4/23/21	325FS-1 day
329	**Right Side**	**16 days**	**Wed 4/14/21**	**Wed 5/5/21**	
330	Relocate Tenants	1 day	Wed 4/14/21	Wed 4/14/21	322FS-1 day
331	Demo / Abatement	8 days	Thu 4/15/21	Mon 4/26/21	330
332	Install Tubs / Shower Valves	4 days	Wed 4/21/21	Mon 4/26/21	331FS-4 days
333	Drywall Repairs	4 days	Fri 4/23/21	Wed 4/28/21	332FS-2 days
334	Paint Units	4 days	Tue 4/27/21	Fri 4/30/21	333FS-2 days
335	Install Plumbing Fixtures	4 days	Tue 4/27/21	Fri 4/30/21	333FS-2 days
336	Install Light Fixtures	4 days	Fri 4/30/21	Wed 5/5/21	334FS-1 day
337	Toilet Acess & Blinds	4 days	Fri 4/30/21	Wed 5/5/21	334FS-1 day
338	**Office / Laundry**	**24 days**	**Tue 4/27/21**	**Fri 5/28/21**	
339	Demo	5 days	Tue 4/27/21	Mon 5/3/21	331
340	Framing / Drywall	8 days	Tue 5/4/21	Thu 5/13/21	339
341	Plumbing	3 days	Fri 5/14/21	Tue 5/18/21	340
342	Paint	3 days	Wed 5/19/21	Fri 5/21/21	341
343	Flooring	5 days	Mon 5/24/21	Fri 5/28/21	342
344	Sustantial Completion	0 days	Fri 5/28/21	Fri 5/28/21	343



ROANOKE

UNIT SUMMARY

UNIT TYPE	BEDROOMS	BATHROOMS	SF	QUANTITY OF UNITS ONSITE	TOTAL NET SF PER UNIT
1	1	1	520	1	520 SF
1 ACCESSIBLE	1	1	520	1	520 SF
2	2	1	563	29	16,327 SF
2 ACCESSIBLE	2	1	563	1	563 SF
TOTALS:	**-**	**-**	**-**	**32**	**232,776 SF**

PROJECT DIRECTORY

ARCHITECT:
BENTON DESIGN GROUP
913 BULLPEN DRIVE
O'FALLON, MO 63366
P: (636) 515-0382
EMAIL: adam@bentondg.com
CONTACT: ADAM PICKETT

OWNER:
STEELE PROPERTIES, LLC
6875 E. EVANS AVENUE
DENVER, CO 80224
P: (303) 226-9120
EMAIL: jason@monroegroupltd.com

GENERAL CONTRACTOR:
TBD

DRAWING INDEX

GENERAL			
	COVER SHEET		
G101	GENERAL NOTES & LEGENDS		
G102	ACCESSIBLITY DETAILS & NOTES		
G103	STANDARD UNIT DETAILS & NOTES		
ARCHITECTURAL			
A101	OVERALL FLOOR PLANS		
A102	OVERALL FLOOR PLANS		
A201	ENLARGED UNIT PLANS		

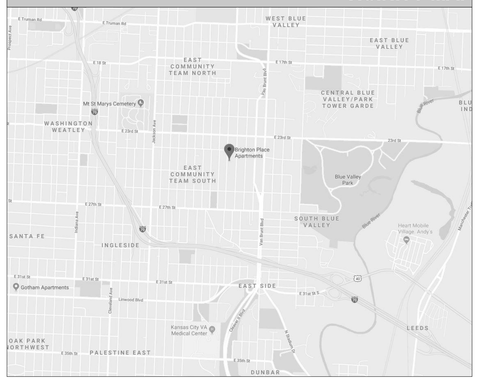
DRAWING INDEX LEGEND

SOLID FILL DENOTES INCLUDED IN ISSUE
SHEET NUMBER
DATE OF REVISION

A100	SHEET NAME	XX.XX.XXXX	XX.XX.XXXX

SHEET NAME
DATE OF ISSUE

VICINITY MAP



PROJECT DESCRIPTION

EDIT

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

PERMIT SET

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

BRIGHTON PLACE APARTMENTS

2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

PLOTTED ON: 9/12/2019

COVER SHEET

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln

Brighton Place Apartments.pln

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln

ABBREVIATIONS LEGEND

AFF	ABOVE FINISH FLOOR
AP-#	ACCESS PANEL
ACOUST	ACOUSTICAL
ACP-#	ACOUSTICAL CEILING PANEL
ACT-#	ACOUSTICAL CEILING TILE
AWP	ACOUSTICAL WALL PANEL
ADDM	ADDENDUM
ADJ	ADJUSTABLE
AGG	AGGREGATE
AHU	AIR HANDLING UNIT
AIB	AIR INFILTRATION BARRIER
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
AES	ARCHITECTURAL EXPOSED STEEL
AD	AREA DRAIN
AC	ASPHALTIC CONCRETE
AUTO	AUTOMATIC
AUX	AUXILLIARY
AVG	AVERAGE
BM	BEAM
BR	BEDROOM
BM	BENCHMARK
BTWN	BETWEEN
BITUM	BITUMINOUS
BL-#	BLINDS
BLKG	BLOCKING
BD	BOARD
BOT	BOTTOM
BOC	BOTTOM OF CONCRETE
BOD	BOTTOM OF DECKING
BOF	BOTTOM OF FRAMING
BOS	BOTTOM OF STEEL
BK-#	BRICK
BLDG	BUILDING
BUR	BUILT-UP ROOFING
BB	BULLETIN BOARD
CAB	CABINET
CPT-#	CARPET
CIP	CAST IN PLACE
CB	CATCH BASIN
CLG	CEILING
CPL	CEMENT PLASTER
CTR	CENTER
CL	CENTERLINE
CT-#	CERAMIC TILE
CR	CLASSROOM
CO	CLEANOUT
CLR	CLEAR(ANCE)
CH	COAT HOOK
CW	COLD WATER
COL	COLUMN
CONC	CONCRETE
CMU-#	CONCRETE MASONRY UNIT
COND	CONDITION
CONFIG	CONFIGURATION
CONN	CONNECTION
CONST	CONSTRUCTION
CSJ	CONSTRUCTION JOINT
CONT	CONTINUOUS
CJ	CONTROL JOINT
COORD	COORDINATE
CG	CORNER GUARD
CORR	CORRIDOR
CFLG	COUNTER FLASHING
CSK	COUNTERSUNK
CF	CUBIC FEET
CY	CUBIC YARDS
D	DEPTH
DEMO	DEMOLISH OR DEMOLITION
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
EA	EACH
EW	EACH WAY
E	EAST
ELEC	ELECTRIC(AL)
EWC	ELECTRIC WATER COOLER
EP	ELECTRIC PANEL
ELEV	ELEVATION DRAWING
EL	ELEVATION (TOPOGRAPHICAL)
ELEV	ELEVATOR
ENCL	ENCLOSURE
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EXH	EXHAUST
EF	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANSION
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EXP	EXPOSED
EXT	EXTERIOR
EIFS-#	EXTERIOR INSULATED FINISH SYSTEM
EW	EYE WASH

FWP	FABRIC WRAPPED ACOUSTICAL PANEL
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOSH	FACE OF SHEATHING
FOS	FACE OF STUD
FOW	FACE OF WALL
FF	FACTORY FINISH
FT	FEET, FOOT
FRP-#	FIBERGLASS REINFORCED PANEL
FIN	FINISH(ED)
FF	FINISH FLOOR
FRPT	FIRE RETARDANT PRESSURE TREATED
FRT	FIRE RETARDANT TREATED
FA	FIRE ALARM
FD	FIRE DAMPER
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FH	FIRE HYDRANT
FR	FIRE RESISTANT / FIRE-RATED
FPL	FIREPLACE
FLG	FLASHING
FLR	FLOOR(ING)
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FTG	FOOTING
FDN	FOUNDATION
FUR	FURRING (FURRED)
GALV	GALVANIZED
GA	GAUGE OR GAGE
GL	GLASS
GL-#	GLAZING
GL	GLUE-LAMINATED
GB	GRAB BAR
GR-#	GRILLE
GND	GROUND
GYP	GYPSUM
H	HIGH
HB	HOSE BIB
HC	HOLLOW CORE (MATERIAL)
HDWR	HARDWARE
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HWY	HIGHWAY
HDR	HEADER
HW	HOT WATER
ID	INSIDE DIAMETER
IN	INCHES
INCAN	INCANDESCENT
INCL	INCLUDE (D) (ING)
INFO	INFORMATION
INSUL	INSULATE (D) (ING)
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JT	JOINT
JST	JOIST
KP	KICK PLATE
KD	KILN DRIED
KIT	KITCHEN
KS	KNEE SPACE
KD	KNOCKDOWN
KO	KNOCKOUT
LAB	LABORATORY
LAM	LAMINATE (D)
LF-#	LAMINATE FLOORING
LSL	LAMINATED STRAND LIMBER
LAV	LAVATORY
LH	LEFT HAND
LHR	LEFT HAND REVERSE
L	LENGTH
LT	LIGHT
LF	LINEAL FEET
LIN	LINEAR
LL	LIVE LOAD
LR	LIVING ROOM
LB	POUND
MB	MACHINE BOLT
MC	MACHINE CABINET
MDH	MAGNETIC DOOR HOLDER
MH	MANHOLE
MFR	MANUFACTURER
MB	MARKERBOARD
MO	MASONRY OPENING
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MDO	MEDIUM DENSITY OVERLAY
MEMB	MEMBRANE
MTL	METAL
MP-#	METAL PANEL
MS	METAL STUD
MEZZ	MEZZANINE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MBBF	MODIFIED BITUMINOUS BASE FLASHING
MBH	MOP & BROOM HOLDER
MTD	MOUNTED
MULL	MULLION

ABBREVIATIONS LEGEND

NOM	NOMINAL
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
NC	NURSE CALL
OC	ON CENTER(S)
OPNG	OPENING
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
P-#	PAINT
PR	PAIR
PNL	PANEL
PTD/WR	PAPER TOWEL DISP. / WASTE RECEPT.
PTD	PAPER TOWEL DISPENSER
PERF	PERFORATED
PLAS	PLASTER
PLAM-#	PLASTIC LAMINATE
PLM	PLASTIC LAMINATE PANEL
PL	PLATE
PWD	PLYWOOD
PT	POINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PMJ	PRE-MOLDED JOINT FILLER
PREFAB	PREFABRICATED
PREFIN	PRE-FINISHED
PPM	PREPAINTED METAL FLASHING
PT	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
RAD	RADIUS (DIMENSION)
RWL	RAIN WATER LEADER
REF	REFERENCE
RCP	REFLECTED CEILING PLAN
REFR	REFRIGERATOR
REINF	REINFORCE(D) (ING)
REQD	REQUIRED
RB-#	RESILIENT BASE
RC	RESILIENT CHANNEL
REV	REVISE(D) (ION)
RH	RIGHT HAND
RHR	RIGHT HAND RETURN
R	RISER (STAIRS)
RD	ROOF DRAIN
RDO	ROOF DRAIN OVERFLOW
RM	ROOM
RO	ROUGH OPENING
RT-#	RUBBER TILE
SND	SANITARY NAPKIN DISPENSER
SNR	SANITARY NAPKIN RECEPTICLE
SCHED	SCHEDULE
SC	SEALED CONCRETE
SCD	SEAT COVER DISPENSER
SECT	SECTION
SHTG	SHEATHING
SHT	SHEET
SV-#	SHEET VINYL
SHR	SHOWER
SCR	SHOWER CURTAIN ROD
SIM	SIMILAR
SD	SOAP DISPENSER
S	SOUTH
SPEC	SPECIFICATION(S)
SPKLR	SPRINKLER
SC	SOLID CORE
SQ	SQUARE
SF	SQUARE FEET
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
SB	STONE BASE
STOR	STORAGE
SF-#	STOREFRONT
STRUCT	STRUCTURAL
SUSP	SUSPEND(ED)
SPL	SYNTHETIC PLASTER
TKBD	TACK BOARD
TEL	TELEPHONE
TV	TELEVISION
TGL	TEMPERED GLASS
TER	TERRAZZO
THK	THICK(NESS)
TPD	TOILET PAPER DISPENSER
TSCD	TOILET SEAT COVER DISPENSER
T&G	TONGUE & GROOVE
TJ	TOOL JOINT
T&B	TOP & BOTTOM
TOC	TOP OF CONCRETE
TOD	TOP OF DECK(ING)
TOG	TOP OF FINISH GRADE
TOM	TOP OF MASONRY
TOPG	TOP OF PAVING
TOPL	TOP OF PLATE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
T	TREAD
TS	TUBE STEEL
TYP	TYPICAL

UL	UNDERWRITER'S LABORATORY
UNO	UNLESS NOTED OTHERWISE
UOS	UNLESS OTHERWISE SHOWN
UR	URINAL
UBC	UNIFORM BUILDING CODE
VB	VAPOR BARRIER (RETARDER)
VEN	VENEER
VTR	VENT TO ROOF
VERT	VERTICAL
VG	VERTICAL GAIN
VEST	VESTIBULE
VCT-#	VINYL COMPOSITION TILE
VTB	VINYL COVERED TACK BOARD
VT-#	VINYL TILE
VWC	VINYL WALL COVERING
WOM	WALK OFF MAT
WC-#	WALL COVERING
WP-#	WALL PANEL
WR	WASTE RECEPTACLE
WC	WATER CLOSET
WH	WATER HEATER
WR	WATER RESISTANT
WP	WATERPROOF(ING)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
W	WEST
W	WIDTH
WDW	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD
WB-#	WOOD BASE
WF-#	WOOD FLOORING
YD	YARD
&	AND
@	AT
#	NUMBER
O/	OVER

MATERIAL LEGEND

ALUMINUM	EARTH
BLOCK CONCRETE	EXTERIOR SHEATHING + BLDG. PAPER
BRASS/BRONZE	GRASS
BRICK COMMON	GRAVEL FILL
BRICK FACE	GYPSUM BOARD
BRICK FIRE	STEEL
CARPET	INSULATION BAT
CONCRETE LIGHTWEIGHT	INSULATION RIGID
CONCRETE STRUCTURAL	PLYWOOD
DRYVIT + INSULATION BOARD	WOOD

SYMBOL LEGEND

DETAIL REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER

BUILDING SECTION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER

A1 / A5.3

WALL SECTION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER.

INTERIOR ELEVATION REFERENCE SYMBOL

B / A / A1 / A5.3 / C / D — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER. LETTERS REFER TO ELEVATION VIEW

EXTERIOR ELEVATION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER.

GRID IDENTIFICATION SYMBOL

14 — IDENTIFIES CENTERLINE COLUMNS & FACE OF FOUNDATION FOR REFERENCE

NORTH SYMBOL

N — IDENTIFIES PROJECT NORTH

ROOM IDENTIFICATION SYMBOL

OFFICE
308
A: 83 sq ft
1 A 2
H: 96.00"

FIRST NUMBER REFERENCES ROOM NUMBER, SECOND NUMBER REFERENCES AREA, THIRD NUMBER REFERENCES MATERIALS CODE, FOURTH NUMBER REFERENCES CEILING HEIGHTS

SPOT ELEVATION SYMBOL

0"

DATUM POINT SYMBOL

0"

KEYNOTE SYMBOL

3 — REFERENCES LIST OF "KEYNOTES" FOR SHEET ON WHICH SYMBOL OCCURS ONLY.

REVISION REFERENCE SYMBOL

2

WALL TYPE SYMBOL

P2

WINDOW REFERENCE SYMBOL

B

DOOR REFERENCE SYMBOL

101

DIMENSION LINE

8'

GRAPHIC SCALE

0 1 2 3 4 5

GENERAL NOTES

USE OF CONSTRUCTION DOCUMENTS:

1. CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
2. DIMENSIONS OF LARGER SCALE DRAWINGS SHALL GOVERN OVER DIMENSIONS OF SMALLER SCALE DRAWINGS.
3. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.
4. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
   A. FACE OF STUD
   B. CENTERLINE OF COLUMNS
   C. TO TOP OF STRUCTURAL DECK
   D. TO BOTTOM OF FINISHED CEILING
5. ALL FURNITURE, FIXTURES, AND EQUIPMENT SHOWN DASHED IS FOR REFERENCE ONLY AND IS NOT IN THE CONTRACT
6. ALL ITEMS DESIGNATED FOR THE USE BY THE HANDICAPPED SHALL FULLY COMPLY WITH THE CURRENT REQUIREMENTS OF APPLICABLE GOVERNING ACCESSIBILITY CODES AND REGULATIONS
7. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILING SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY ALTERNATE NON-STANDARD OR UNTESTED METHOD(S) PROPOSED.

STANDARDS AND REGULATIONS:

1. CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY .
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS .
4. CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY COMPANIES.
5. CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS AND STANDARDS.

PERFORMANCE OF WORK

1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.
3. CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
4. ALL CONSTRUCTION FABRICATION AND INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE APPLICABLE BUILDING, MECHANICAL-PLUMBING CODES, THE NATIONAL ELECTRICAL CODE, ANY FEDERAL, STATE, AND LOCAL CODES, REGULATIONS AND ORDINANCES EACH AS AMENDED BY THE GOVERNING JURISDICTION HAVING AUTHORITY.
5. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND ANY APPLICABLE CODES BY THE AGENT INVOLVED WITH THE GOVERNING AGENCY HAVING JURISDICTION. IT IS UNDERSTOOD THAT THE "FIELD INSPECTOR" FOR SUCH AGENCY HAS FINAL AUTHORITY TO APPROVE/DISAPPROVE PROJECT CONSTRUCTION AND CORRECTNESS OF ALL CODE RELATED ITEMS.
6. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER AND GOVERNING AUTHORITIES, (IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.
7. CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
8. EACXH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH EFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION , THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATIONS SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
11. CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWO WEEKS PROR TO CLOSE-UP.

DEFINITIONS

1. THE TERM "ALIGN" SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
2. THE TERM "CLEAR" SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
3. THE TERMS "MAXIMUM" OR "MAX" SHALL AEMN THAT THE CONDITIONS IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
4. THE TERMS "MINIMUM" OR "MIN" SHALL MEAN THAT THE CONDITIONS IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
5. THE TERM "TYPICAL" SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
6. THE TERM "+/-" SHALL MEAN THAT THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

BRIGHTON PLACE APARTMENTS
2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

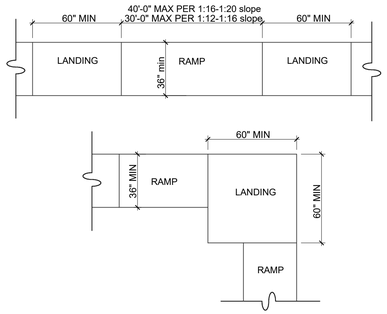
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

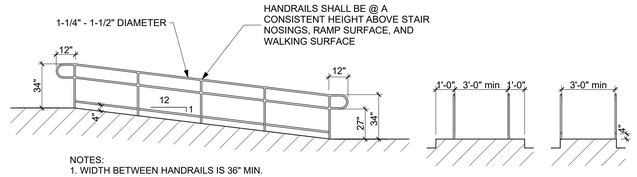
G101

PLOTTED ON: 9/12/2019

GENERAL NOTES & LEGENDS

Brighton Place Apartments.pln





NOTES:
1. WIDTH BETWEEN HANDRAILS IS 36" MIN.
2. CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:48 AND SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. IF THE SLOPE IS EQUAL OR GREATER THAN 1:20 YOU ARE REQUIRED TO HAVE HANDRAILS ON BOTH SIDES OF RAMP.

RAMP STANDARDS

ADDITIONAL REQUIREMENTS

RAMPS: SLOPE 1:12 to <1:16 = MAX. RISE OF 30" AND MAX HORIZONTAL DISTANCE OF 30'-0"
SLOPE 1:16 to <1:20 = MAX. RISE OF 30" AND MAX HORIZONTAL DISTANCE OF 40'-0"
SLOPE 1:12 to 1:20 REQUIRES A HANDRAIL

SIGNAGE: **CHARACTER PROPORTION AND COLOR CONTRAST:**
LETTERS & NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND AND BE NON-GLARE. CHARACTERS SHALL BE UPPER CASE. CHARACTER HEIGHT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER, SHALL BE 5/8" MIN AND 2" MAX BASE ON THE UPPERCASE LETTER "I".

RAISED OR INDENTED CHARACTERS OR SYMBOLS:
LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32" MIN AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". INDENTED CHARACTERS OR SYMBOLS SHALL HAVE A STROKE WIDTH OF AT LEAST 1/4". SYMBOLS OR PICTOGRAPHS ON SIGNS SHALL BE RAISED OR INDENTED 1/32".

MOUNTING LOCATION AND HEIGHT:
INTERIOR SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT A HEIGHT OF 60" ABOVE THE FINISHED FLOOR.

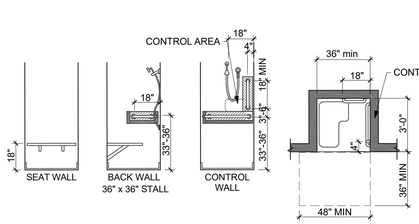
GENERAL NOTES

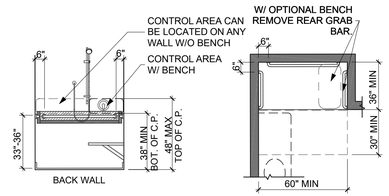
1. CONTRACTOR SHALL BE FAMILIAR AND INCORPORATE ALL PROVISIONS AND REQUIREMENTS ESTABLISHED BY CODES APPLICABLE TO THE PROJECT INCLUDING UFAS, ANSI, AND ADAAG.
2. MOUNTING HEIGHTS ARE IN FEET AND INCHES ABOVE THE FINISHED FLOOR.
3. BLOCKING TO BE INSTALLED AT GRAB BARS AT ACCESSIBLE TOILET LOCATIONS.
4. TYPICAL MOUNTING HEIGHTS SHALL BE USED UNLESS NOTED OTHERWISE.
5. SOLID WOOD BLOCKING OR GALVANIZED SHEET METAL SHALL BE LET-IN AND/OR OVERLAID AND SECURELY ANCHORED TO STUDS. BLOCKING MUST FIT SNUGLY AND FILL THE DESIGNATED SPACE.
6. NOT ALL ACCESSORIES SHOWN MAY NECESSARILY BE USED.

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

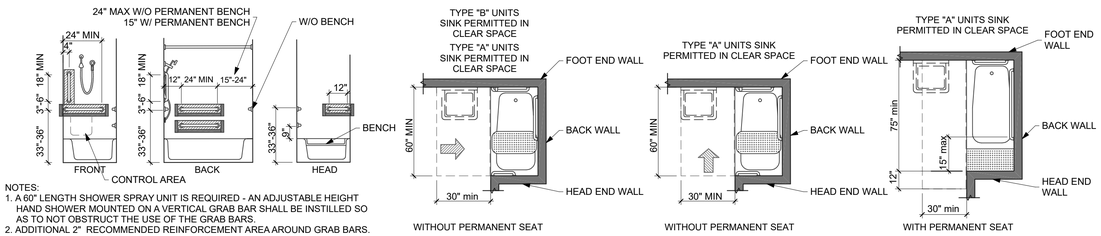




NOTES:
1. SHOWER HEAD AND CONTROL AREA TO BE LOCATED ON BACK (LONG) WALL AS SHOWN 38" MIN AND 48" MAX ABOVE THE SHOWER FLOOR. W/
2. A 60" MIN LENGTH SHOWER SPRAY UNIT IS REQUIRED
3. ADDITIONAL 2" RECOMMENDED REINFORCEMENT AREA AROUND GRAB BARS

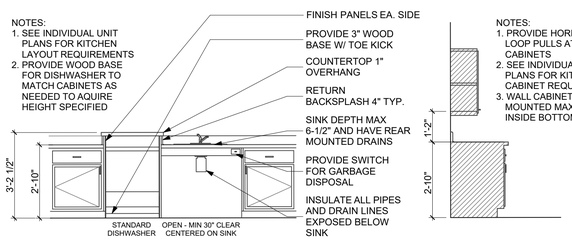
TRANSFER SHOWER

ROLL-IN SHOWER



NOTES:
1. A 60" LENGTH SHOWER SPRAY UNIT IS REQUIRED - AN ADJUSTABLE HEIGHT HAND SHOWER MOUNTED ON A VERTICAL GRAB BAR SHALL BE INSTILLED SO AS TO NOT OBSTRUCT THE USE OF THE GRAB BARS.
2. ADDITIONAL 2" RECOMMENDED REINFORCEMENT AREA AROUND GRAB BARS.

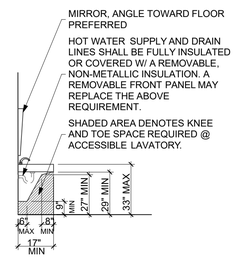
TYPE "A" AND "B" BATHTUB PLANS & ELEVATIONS



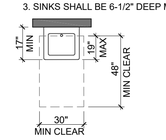
NOTES:
1. SEE INDIVIDUAL UNIT PLANS FOR KITCHEN LAYOUT REQUIREMENTS
2. PROVIDE WOOD BASE FOR DISHWASHER TO MATCH CABINETS AS NEEDED TO AQUIRE HEIGHT SPECIFIED

NOTES:
1. PROVIDE HORIZONTAL LOOP PULLS AT UPPER CABINETS
2. SEE INDIVIDUAL UNIT PLANS FOR KITCHEN CABINET REQUIREMENTS
3. WALL CABINET TO BE MOUNTED MAX. 48" TO INSIDE BOTTOM SHELF.

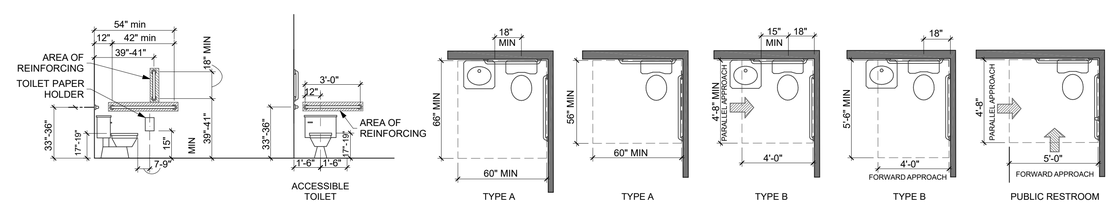
KITCHEN STANDARDS



NOTES:
1. 34" MAX A.F.F. TO TOP OF WALL MOUNTED SINKS.
2. SEE PLANS & INTERIOR ELEVATIONS FOR PROJECT SPECIFIC DETAILS
3. SINKS SHALL BE 6-1/2" DEEP MAX.

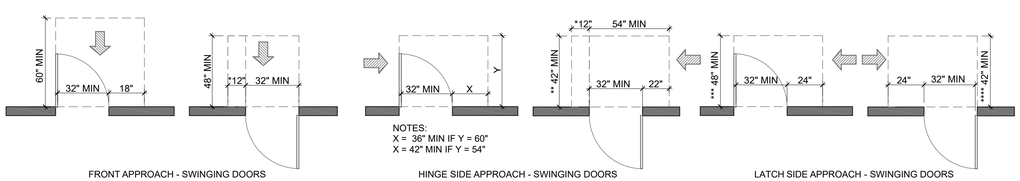


SINK APPROACHES AND STANDARDS



TOILET APPROACHES AND STANDARDS

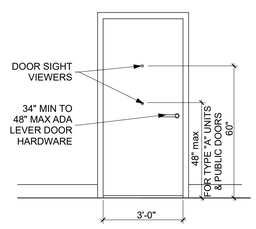
PERMIT SET



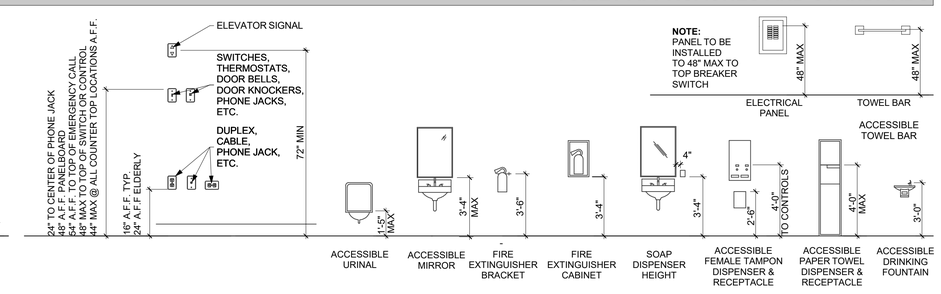
NOTES:
X = 36" MIN IF Y = 60"
X = 42" MIN IF Y = 54"

NOTES:
1. DOOR CLEARANCES ARE REQUIRED FOR ALL DOORS ASSOCIATED W/ TYPE "A" UNITS & PUBLIC SPACES. PLEASE REFERENCE PLANS FOR TYPE "B" REQUIREMENTS BEYOND UNIT SIDE OF THE ENTRY DOOR. RIGHT, OF THE CENTERLINE OF THE SEAT

LEGEND:
* = IF BOTH CLOSER & LATCH ARE REQUIRED
** = 48" MIN IF BOTH CLOSER & LATCH PROVIDED
*** = 54" MIN IF CLOSER IS PROVIDED
**** = 48" MIN IF CLOSER IS PROVIDED



DOOR CLEARANCES



MISC. MOUNTING HEIGHTS

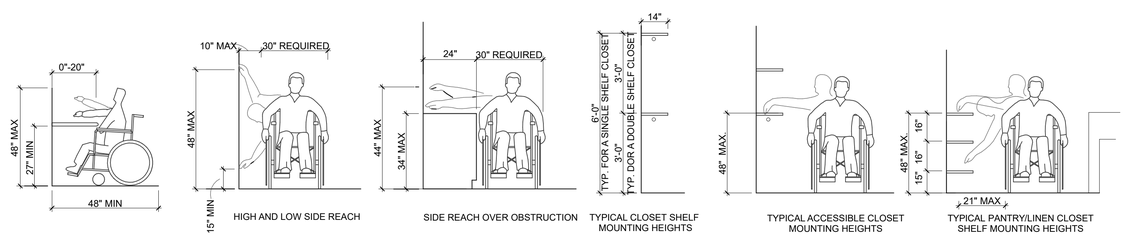
BRIGHTON PLACE APARTMENTS
2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

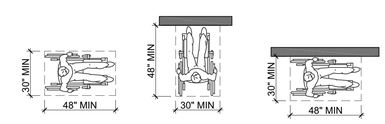
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

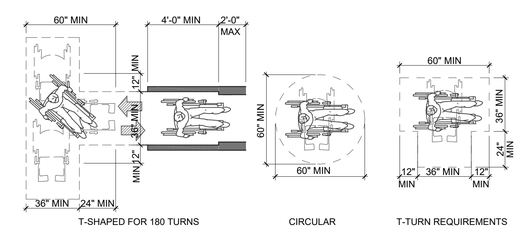


REACH REQUIREMENTS



NOTES:
1. ALL CLEAR FLOOR SPACES ARE 30"X48" UNLESS SPECIFIED OTHERWISE.

CLEAR FLOOR SPACE



WHEELCHAIR TURNING SPACE

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED, IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

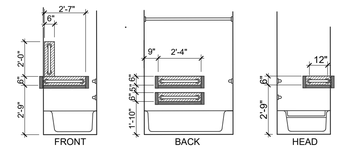
ACCESSIBLITY DETAILS & NOTES

G102

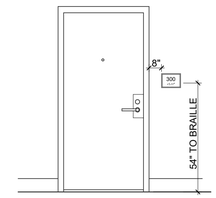
PLOTTED ON: 9/12/2019

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_Arch\CAD Files\Brighton Place Apartments.pln
Brighton Place Apartments.pln

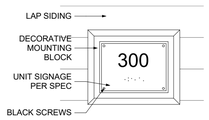
NOTE: BLOCKING ONLY INSTALLED AT STANDARD UNITS WHERE EXISTING TUBS AND SURROUNDS ARE BEING REPLACED.



STANDARD UNIT GRAB BAR BLOCKING

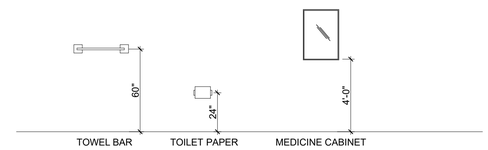


NOTE: SIGN TO BE MOUNTED ON LATCH SIDE OF DOOR. USE NEAREST WALL ON LATCH SIDE IF SPACE NOT PROVIDED.

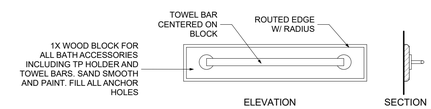


NOTE: AT VINYL SIDING MOUNT UNIT SIGN ON DECORATIVE VINYL MOUNTING BLOCK.

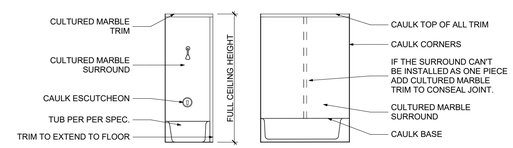
ENTRY DOOR UNIT SIGNAGE



STANDARD UNIT MISC. MOUNTING HEIGHTS



WALL MOUNTED BLOCKING



STANDARD SHOWER SURROUND

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE, ON ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

BRIGHTON PLACE APARTMENTS

2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

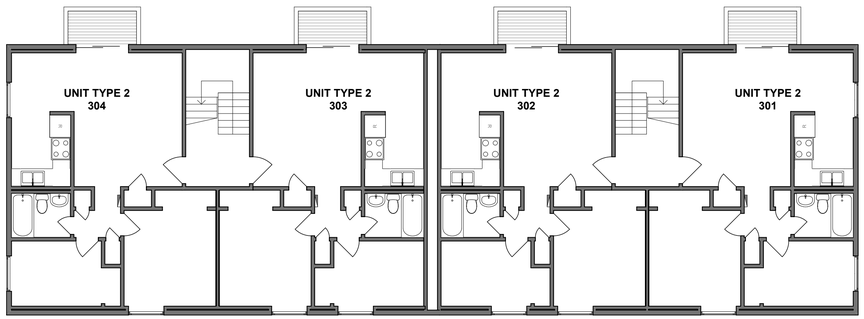
G103

PLOTTED ON: 9/12/2019

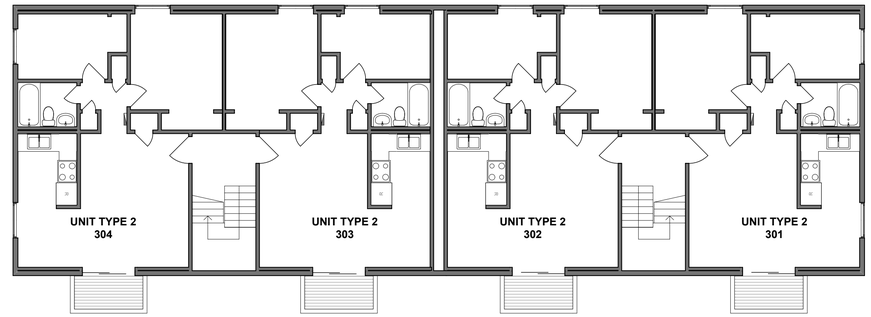
STANDARD UNIT DETAILS & NOTES

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln

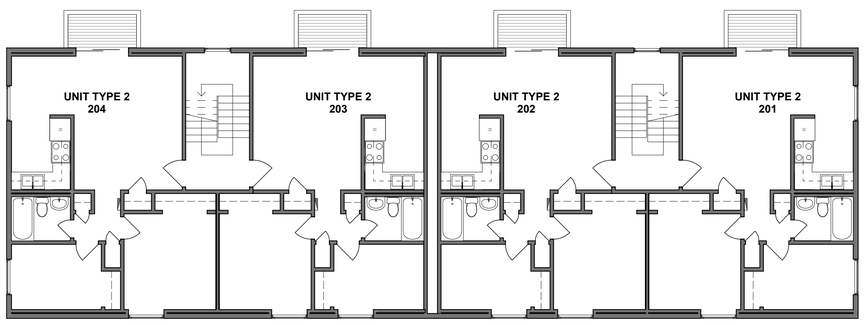
Brighton Place Apartments.pln



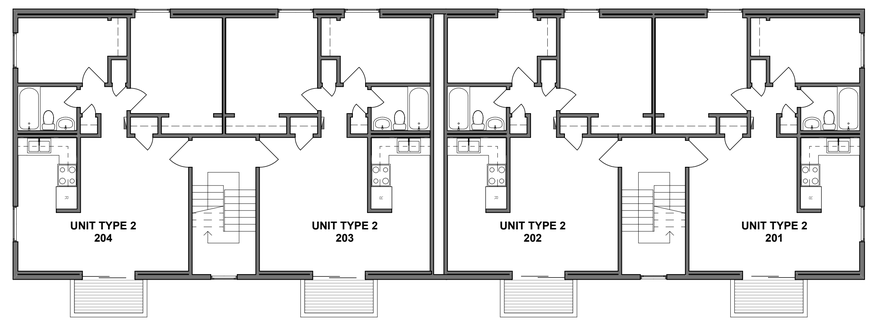
6 BUILDING B - 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



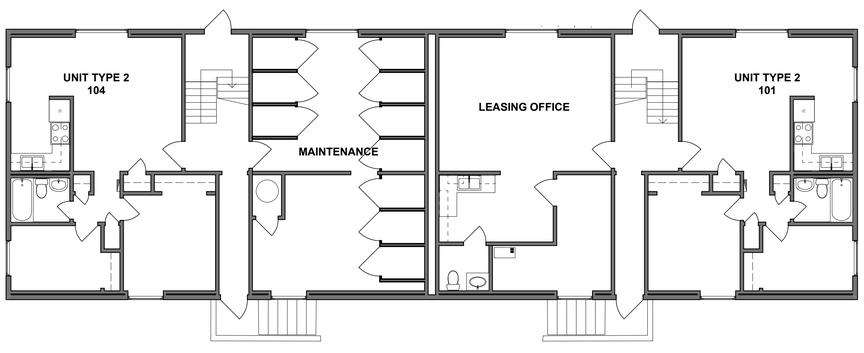
5 BUILDING A - 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



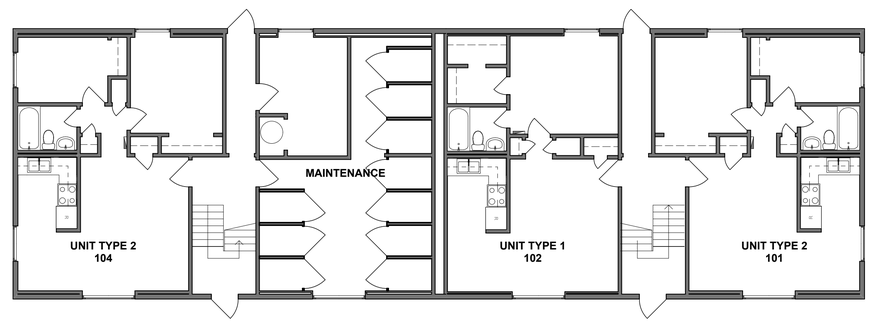
4 BUILDING B - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



3 BUILDING A - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING B - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 BUILDING A - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

BRIGHTON PLACE APARTMENTS
2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

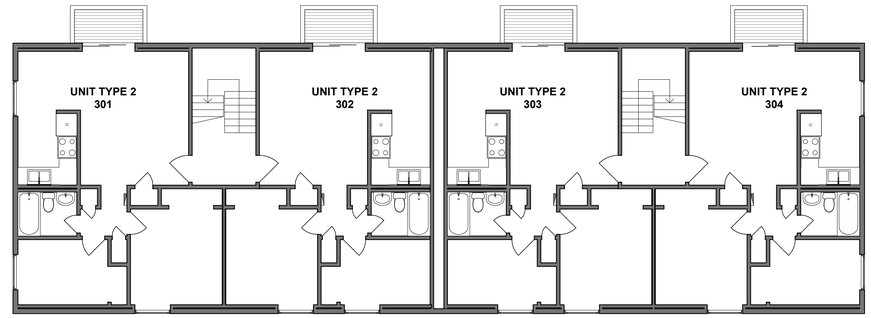
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A101

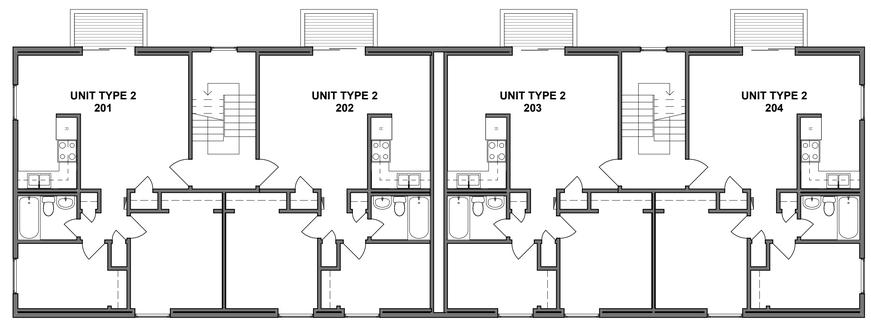
PLOTTED ON: 9/12/2019

OVERALL FLOOR PLANS

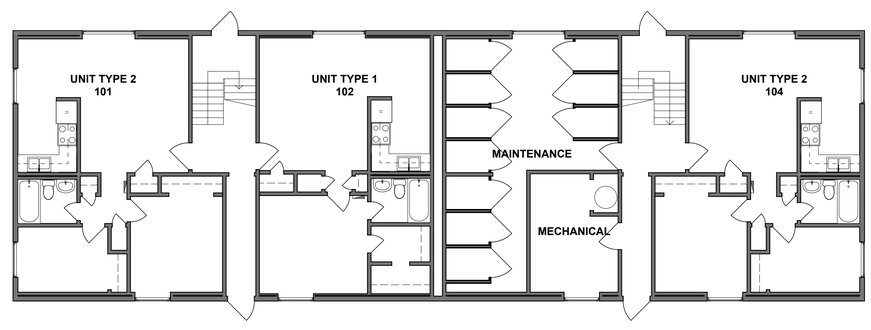
C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln
Brighton Place Apartments.pln



3 BUILDING C - 3RD FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 BUILDING C - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 BUILDING C - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

BRIGHTON PLACE APARTMENTS

2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

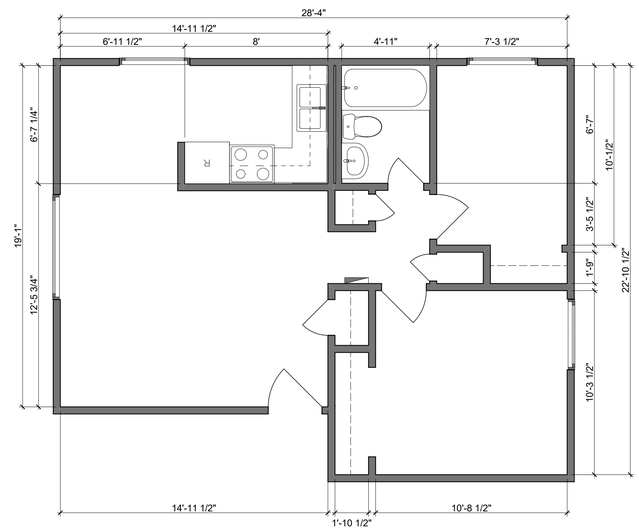
A102

PLOTTED ON: 9/12/2019

OVERALL FLOOR PLANS

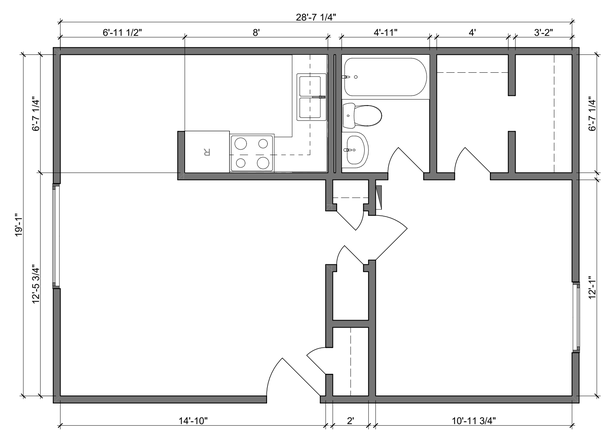
C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln

Brighton Place Apartments.pln



2 UNIT TYPE 2 - 563 SF

SCALE: 1/4" = 1'-0"



1 UNIT TYPE 1 - 520 SF

SCALE: 1/4" = 1'-0"

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

PERMIT SET

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

BRIGHTON PLACE APARTMENTS

2415 BRIGHTON AVENUE
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A201

PLOTTED ON: 9/12/2019

ENLARGED UNIT PLANS

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-033 - Brighton Place Apartments - Kansas City, MO\B_ArchCAD Files\Brighton Place Apartments.pln

Brighton Place Apartments.pln

UNIT SUMMARY

UNIT TYPE	BEDROOMS	BATHROOMS	SF	QUANTITY OF UNITS ONSITE	TOTAL NET SF PER UNIT
1 - 1ST FLPR	1	1	600	6	3,600 SF
1 - 2ND FLR	1	1	600	6	3,600 SF
2	2	1	716	16	11,456 SF
3	1	1	603	6	3,618 SF
4	2	1	791	8	6,328 SF
5	1	1	604	1	604 SF
6	3	1.5	878	7	6,146 SF
TOTALS:	**-**	**-**	**-**	**50**	**35,352 SF**

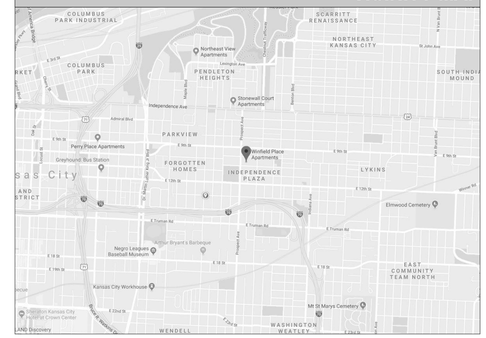
PROJECT DIRECTORY

ARCHITECT:
BENTON DESIGN GROUP
913 BULLPEN DRIVE
O'FALLON, MO 63366
P: (636) 515-0382
EMAIL: adam@bentondg.com
CONTACT: ADAM PICKETT

OWNER:
DAL STEELE RIDGECREST, LLC
6875 E. EVANS AVENUE
DENVER, CO 80224
P: (303) 226-9120
EMAIL: jason@monroegroupltd.com

GENERAL CONTRACTOR:
TBD

VICINITY MAP



DRAWING INDEX

GENERAL			
	COVER SHEET		
G101	GENERAL NOTES & LEGENDS		
G102	ACCESSIBLITY DETAILS & NOTES		
G103	STANDARD UNIT DETAILS & NOTES		
ARCHITECTURAL			
A101	OVERALL FLOOR PLANS		
A102	OVERALL FLOOR PLANS		
A103	OVERALL FLOOR PLANS		
A104	OVERALL FLOOR PLANS		
A105	LEASING OFFICE		
A201	ENLARGED UNIT PLANS		
A202	ENLARGED UNIT PLANS		
A203	ENLARGED UNIT PLANS		

PROJECT DESCRIPTION

EDIT

DRAWING INDEX LEGEND

SOLID FILL DENOTES INCLUDED IN ISSUE
SHEET NUMBER
DATE OF REVISION

A100	SHEET NAME	XX.XX.XXXX	XX.XX.XXXX

SHEET NAME
DATE OF ISSUE

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

PLOTTED ON: 9/13/2019

COVER SHEET

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_Arch\CAD Files\Winfield Place Apartments.pln

Winfield Place Apartments.pln

C:\Users\sama\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B. Arch\CAD Files\Winfield Place Apartments.pln

ABBREVIATIONS LEGEND

AFF	ABOVE FINISH FLOOR
AP-#	ACCESS PANEL
ACOUST	ACOUSTICAL
ACP-#	ACOUSTICAL CEILING PANEL
ACT-#	ACOUSTICAL CEILING TILE
AWP	ACOUSTICAL WALL PANEL
ADDM	ADDENDUM
ADJ	ADJUSTABLE
AGG	AGGREGATE
AHU	AIR HANDLING UNIT
AIB	AIR INFILTRATION BARRIER
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
AES	ARCHITECTURAL EXPOSED STEEL
AD	AREA DRAIN
AC	ASPHALTIC CONCRETE
AUTO	AUTOMATIC
AUX	AUXILLIARY
AVG	AVERAGE
BM	BEAM
BR	BEDROOM
BM	BENCHMARK
BTWN	BETWEEN
BITUM	BITUMINOUS
BL-#	BLINDS
BLKG	BLOCKING
BD	BOARD
BOT	BOTTOM
BOC	BOTTOM OF CONCRETE
BOD	BOTTOM OF DECKING
BOF	BOTTOM OF FRAMING
BOS	BOTTOM OF STEEL
BK-#	BRICK
BLDG	BUILDING
BUR	BUILT-UP ROOFING
BB	BULLETIN BOARD
CAB	CABINET
CPT-#	CARPET
CIP	CAST IN PLACE
CB	CATCH BASIN
CLG	CEILING
CPL	CEMENT PLASTER
CTR	CENTER
CL	CENTERLINE
CT-#	CERAMIC TILE
CR	CLASSROOM
CO	CLEANOUT
CLR	CLEAR(ANCE)
CH	COAT HOOK
CW	COLD WATER
COL	COLUMN
CONC	CONCRETE
CMU-#	CONCRETE MASONRY UNIT
COND	CONDITION
CONFIG	CONFIGURATION
CONN	CONNECTION
CONST	CONSTRUCTION
CSJ	CONSTRUCTION JOINT
CONT	CONTINUOUS
CJ	CONTROL JOINT
COORD	COORDINATE
CG	CORNER GUARD
CORR	CORRIDOR
CFLG	COUNTER FLASHING
CSK	COUNTERSUNK
CF	CUBIC FEET
CY	CUBIC YARDS
D	DEPTH
DEMO	DEMOLISH OR DEMOLITION
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
EA	EACH
EW	EACH WAY
E	EAST
ELEC	ELECTRIC(AL)
EWC	ELECTRIC WATER COOLER
EP	ELECTRIC PANEL
ELEV	ELEVATION DRAWING
EL	ELEVATION (TOPOGRAPHICAL)
ELEV	ELEVATOR
ENCL	ENCLOSURE
EP	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EXH	EXHAUST
EF	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANSION
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
EXP	EXPOSED
EXT	EXTERIOR
EIFS-#	EXTERIOR INSULATED FINISH SYSTEM
EW	EYE WASH

FWP	FABRIC WRAPPED ACOUSTICAL PANEL
FO	FACE OF
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOSH	FACE OF SHEATHING
FOS	FACE OF STUD
FOW	FACE OF WALL
FF	FACTORY FINISH
FT	FEET, FOOT
FRP-#	FIBERGLASS REINFORCED PANEL
FIN	FINISH(ED)
FF	FINISH FLOOR
FRPT	FIRE RETARDANT PRESSURE TREATED
FRT	FIRE RETARDANT TREATED
FA	FIRE ALARM
FD	FIRE DAMPER
FDC	FIRE DEPARTMENT CONNECTION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FH	FIRE HYDRANT
FR	FIRE RESISTANT / FIRE-RATED
FPL	FIREPLACE
FLG	FLASHING
FLR	FLOOR(ING)
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FTG	FOOTING
FDN	FOUNDATION
FUR	FURRING (FURRED)
GALV	GALVANIZED
GA	GAUGE OR GAGE
GL	GLASS
GL-#	GLAZING
GL	GLUE-LAMINATED
GB	GRAB BAR
GR-#	GRILLE
GND	GROUND
GYP	GYPSUM
H	HIGH
HB	HOSE BIB
HC	HOLLOW CORE (MATERIAL)
HDWR	HARDWARE
HDWD	HARDWOOD
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HT	HEIGHT
HVAC	HEATING, VENTILATING & AIR CONDITIONING
HWY	HIGHWAY
HDR	HEADER
HW	HOT WATER
ID	INSIDE DIAMETER
IN	INCHES
INCAN	INCANDESCENT
INCL	INCLUDE (D) (ING)
INFO	INFORMATION
INSUL	INSULATE (D) (ING)
INT	INTERIOR
INV	INVERT
JAN	JANITOR
JT	JOINT
JST	JOIST
KP	KICK PLATE
KD	KILN DRIED
KIT	KITCHEN
KS	KNEE SPACE
KD	KNOCKDOWN
KO	KNOCKOUT
LAB	LABORATORY
LAM	LAMINATE (D)
LF-#	LAMINATE FLOORING
LSL	LAMINATED STRAND LIMBER
LAV	LAVATORY
LH	LEFT HAND
LHR	LEFT HAND REVERSE
L	LENGTH
LT	LIGHT
LF	LINEAL FEET
LIN	LINEAR
LL	LIVE LOAD
LR	LIVING ROOM
LB	POUND
MB	MACHINE BOLT
MC	MACHINE CABINET
MDH	MAGNETIC DOOR HOLDER
MH	MANHOLE
MFR	MANUFACTURER
MB	MARKERBOARD
MO	MASONRY OPENING
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
MDO	MEDIUM DENSITY OVERLAY
MEMB	MEMBRANE
MTL	METAL
MP-#	METAL PANEL
MS	METAL STUD
MEZZ	MEZZANINE
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MBBF	MODIFIED BITUMINOUS BASE FLASHING
MBH	MOP & BROOM HOLDER
MTD	MOUNTED
MULL	MULLION

ABBREVIATIONS LEGEND

NOM	NOMINAL
N	NORTH
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
NO	NUMBER
NC	NURSE CALL
OC	ON CENTER(S)
OPNG	OPENING
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
P-#	PAINT
PR	PAIR
PNL	PANEL
PTD/WR	PAPER TOWEL DISP. / WASTE RECEPT.
PTD	PAPER TOWEL DISPENSER
PERF	PERFORATED
PLAS	PLASTER
PLAM-#	PLASTIC LAMINATE
PLM	PLASTIC LAMINATE PANEL
PL	PLATE
PWD	PLYWOOD
PT	POINT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PMJ	PRE-MOLDED JOINT FILLER
PREFAB	PREFABRICATED
PREFIN	PRE-FINISHED
PPM	PREPAINTED METAL FLASHING
PT	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
QT	QUARRY TILE
RAD	RADIUS (DIMENSION)
RWL	RAIN WATER LEADER
REF	REFERENCE
RCP	REFLECTED CEILING PLAN
REFR	REFRIGERATOR
REINF	REINFORCE(D) (ING)
REQD	REQUIRED
RB-#	RESILIENT BASE
RC	RESILIENT CHANNEL
REV	REVISE(D) (ION)
RH	RIGHT HAND
RHR	RIGHT HAND RETURN
R	RISER (STAIRS)
RD	ROOF DRAIN
RDO	ROOF DRAIN OVERFLOW
RM	ROOM
RO	ROUGH OPENING
RT-#	RUBBER TILE
SND	SANITARY NAPKIN DISPENSER
SNR	SANITARY NAPKIN RECEPTICLE
SCHED	SCHEDULE
SC	SEALED CONCRETE
SCD	SEAT COVER DISPENSER
SECT	SECTION
SHTG	SHEATHING
SHT	SHEET
SV-#	SHEET VINYL
SHR	SHOWER
SCR	SHOWER CURTAIN ROD
SIM	SIMILAR
SD	SOAP DISPENSER
S	SOUTH
SPEC	SPECIFICATION(S)
SPKLR	SPRINKLER
SC	SOLID CORE
SQ	SQUARE
SF	SQUARE FEET
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
SB	STONE BASE
STOR	STORAGE
SF-#	STOREFRONT
STRUCT	STRUCTURAL
SUSP	SUSPEND(ED)
SPL	SYNTHETIC PLASTER
TKBD	TACK BOARD
TEL	TELEPHONE
TV	TELEVISION
TGL	TEMPERED GLASS
TER	TERRAZZO
THK	THICK(NESS)
TPD	TOILET PAPER DISPENSER
TSCD	TOILET SEAT COVER DISPENSER
T&G	TONGUE & GROOVE
TJ	TOOL JOINT
T&B	TOP & BOTTOM
TOC	TOP OF CONCRETE
TOD	TOP OF DECK(ING)
TOG	TOP OF FINISH GRADE
TOM	TOP OF MASONRY
TOPG	TOP OF PAVING
TOPL	TOP OF PLATE
TOS	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
T	TREAD
TS	TUBE STEEL
TYP	TYPICAL

UL	UNDERWRITER'S LABORATORY
UNO	UNLESS NOTED OTHERWISE
UOS	UNLESS OTHERWISE SHOWN
UR	URINAL
UBC	UNIFORM BUILDING CODE
VB	VAPOR BARRIER (RETARDER)
VEN	VENEER
VTR	VENT TO ROOF
VERT	VERTICAL
VG	VERTICAL GAIN
VEST	VESTIBULE
VCT-#	VINYL COMPOSITION TILE
VTB	VINYL COVERED TACK BOARD
VT-#	VINYL TILE
VWC	VINYL WALL COVERING
WOM	WALK OFF MAT
WC-#	WALL COVERING
WP-#	WALL PANEL
WR	WASTE RECEPTACLE
WC	WATER CLOSET
WH	WATER HEATER
WR	WATER RESISTANT
WP	WATERPROOF(ING)
WT	WEIGHT
WWF	WELDED WIRE FABRIC
W	WEST
W	WIDTH
WDW	WINDOW
W/	WITH
W/O	WITHOUT
WD	WOOD
WB-#	WOOD BASE
WF-#	WOOD FLOORING
YD	YARD
&	AND
@	AT
#	NUMBER
O/	OVER

MATERIAL LEGEND

ALUMINUM	EARTH
BLOCK CONCRETE	EXTERIOR SHEATHING + BLDG. PAPER
BRASS/BRONZE	GRASS
BRICK COMMON	GRAVEL FILL
BRICK FACE	GYPSUM BOARD
BRICK FIRE	STEEL
CARPET	INSULATION BAT
CONCRETE LIGHTWEIGHT	INSULATION RIGID
CONCRETE STRUCTURAL	PLYWOOD
DRYVIT + INSULATION BOARD	WOOD

SYMBOL LEGEND

DETAIL REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER

BUILDING SECTION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER

A1 / A5.3

WALL SECTION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER.

INTERIOR ELEVATION REFERENCE SYMBOL

B / A / A1 / A5.3 / C / D — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER. LETTERS REFER TO ELEVATION VIEW

EXTERIOR ELEVATION REFERENCE SYMBOL

A1 / A5.3 — TOP NUMBER REFERS TO DRAWING LOCATION AS REFERENCED FROM COORDINATES AT LEFT. TOP & BOTTOM OF SHEETS. NUMBER ON BOTTOM REFERS TO SHEET NUMBER.

GRID IDENTIFICATION SYMBOL

14 — IDENTIFIES CENTERLINE COLUMNS & FACE OF FOUNDATION FOR REFERENCE

NORTH SYMBOL

N — IDENTIFIES PROJECT NORTH

ROOM IDENTIFICATION SYMBOL

OFFICE
308
A: 83 sq ft
1 A 2
H: 96.00"

FIRST NUMBER REFERENCES ROOM NUMBER, SECOND NUMBER REFERENCES AREA, THIRD NUMBER REFERENCES MATERIALS CODE, FOURTH NUMBER REFERENCES CEILING HEIGHTS

SPOT ELEVATION SYMBOL

0"

DATUM POINT SYMBOL

0"

KEYNOTE SYMBOL

3 — REFERENCES LIST OF "KEYNOTES" FOR SHEET ON WHICH SYMBOL OCCURS ONLY.

REVISION REFERENCE SYMBOL

2

WALL TYPE SYMBOL

P2

WINDOW REFERENCE SYMBOL

B

DOOR REFERENCE SYMBOL

101

DIMENSION LINE

8'

GRAPHIC SCALE

0 1 2 3 4 5

GENERAL NOTES

USE OF CONSTRUCTION DOCUMENTS:

1. CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
2. DIMENSIONS OF LARGER SCALE DRAWINGS SHALL GOVERN OVER DIMENSIONS OF SMALLER SCALE DRAWINGS.
3. DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO CONTRACTOR.
4. DIMENSIONS ARE AS FOLLOWS UNLESS OTHERWISE NOTED:
   A. FACE OF STUD
   B. CENTERLINE OF COLUMNS
   C. TO TOP OF STRUCTURAL DECK
   D. TO BOTTOM OF FINISHED CEILING
5. ALL FURNITURE, FIXTURES, AND EQUIPMENT SHOWN DASHED IS FOR REFERENCE ONLY AND IS NOT IN THE CONTRACT
6. ALL ITEMS DESIGNATED FOR THE USE BY THE HANDICAPPED SHALL FULLY COMPLY WITH THE CURRENT REQUIREMENTS OF APPLICABLE GOVERNING ACCESSIBILITY CODES AND REGULATIONS
7. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILING SHALL BE THE SAME AS FOR OTHER SIMILAR FIRST CLASS WORK FOR THE TRADE INVOLVED. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY ALTERNATE NON-STANDARD OR UNTESTED METHOD(S) PROPOSED.

STANDARDS AND REGULATIONS:

1. CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS AND SIMILAR STANDARDS.
2. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT IF PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY .
3. CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF INSPECTIONS .
4. CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY COMPANIES.
5. CONTRACTOR SHALL BE FAMILIAR WITH AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED FIRE-RATED ASSEMBLY TESTS AND STANDARDS.

PERFORMANCE OF WORK

1. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, AND SEQUENCES OF CONSTRUCTION.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL AND AUTHORIZED VISITORS.
3. CONTRACTOR SHALL BECOME FULLY ACQUAINTED WITH THE CONDITIONS RELATED TO THE WORK. ANY KNOWN DISCREPANCIES BETWEEN THE DOCUMENTS AND ACTUAL CONDITIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK RELATED TO THE DISCREPANCY.
4. ALL CONSTRUCTION FABRICATION AND INSTALLATIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE APPLICABLE BUILDING, MECHANICAL-PLUMBING CODES, THE NATIONAL ELECTRICAL CODE, ANY FEDERAL, STATE, AND LOCAL CODES, REGULATIONS AND ORDINANCES EACH AS AMENDED BY THE GOVERNING JURISDICTION HAVING AUTHORITY.
5. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND ANY APPLICABLE CODES BY THE AGENT INVOLVED WITH THE GOVERNING AGENCY HAVING JURISDICTION. IT IS UNDERSTOOD THAT THE "FIELD INSPECTOR" FOR SUCH AGENCY HAS FINAL AUTHORITY TO APPROVE/DISAPPROVE PROJECT CONSTRUCTION AND CORRECTNESS OF ALL CODE RELATED ITEMS.
6. CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS. CONTRACTOR SHALL OBTAIN APPROVAL OF OWNER AND GOVERNING AUTHORITIES, (IF APPLICABLE) FOR DETAILS RELATED TO REMOVAL OF TRASH, INCLUDING SUCH ISSUES AS PATH OF TRAVEL.
7. CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.
8. EACXH INSTALLER SHALL EXAMINE SUBSTRATE CONDITION AND/OR SITE CONDITIONS WHICH EFFECT THE QUALITY OF EACH PRODUCT TO BE INSTALLED. IF ANY CONDITIONS EXIST WHICH WILL HAVE A DETRIMENTAL EFFECT ON THE QUALITY OF THE INSTALLATION , THE INSTALLER SHALL IMMEDIATELY NOTIFY THE CONTRACTOR. INSTALLATION SHALL NOT PROCEED UNTIL THE UNSATISFACTORY CONDITIONS ARE CORRECTED. INSTALLATIONS SHALL SIGNIFY ACCEPTANCE OF THE CONDITIONS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
11. CONTRACTOR SHALL NOT CLOSE UP CEILING UNTIL ARCHITECT HAS AN OPPORTUNITY TO INSPECT ALL WORK WHICH WILL BE CONCEALED BY CEILING. CONTRACTOR SHALL NOTIFY ARCHITECT AT LEAST TWO WEEKS PROR TO CLOSE-UP.

DEFINITIONS

1. THE TERM "ALIGN" SHALL MEAN TO ACCURATELY LOCATE AND FINISH FACES IN THE SAME PLANE AND/OR INSTALL NEW CONSTRUCTION ADJACENT TO EXISTING CONSTRUCTION WITHOUT ANY VISIBLE JOINTS OR SURFACE IRREGULARITIES.
2. THE TERM "CLEAR" SHALL MEAN THAT THE CONDITION IS NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE ARCHITECT, CLEAR DIMENSIONS ARE TYPICALLY TO FINISH FACE.
3. THE TERMS "MAXIMUM" OR "MAX" SHALL AEMN THAT THE CONDITIONS IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
4. THE TERMS "MINIMUM" OR "MIN" SHALL MEAN THAT THE CONDITIONS IS SLIGHTLY ADJUSTABLE BUT MAY NOT VARY TO A DIMENSION OR QUANTITY LESS THAN THAT SHOWN WITHOUT APPROVAL OF THE ARCHITECT.
5. THE TERM "TYPICAL" SHALL MEAN THAT THE CONDITION OR DIMENSION IS THE SAME OR REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT.
6. THE TERM "+/-" SHALL MEAN THAT THE DIMENSION OR QUANTITY IS SLIGHTLY ADJUSTABLE TO ACCOMMODATE ACTUAL CONDITIONS.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS
2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL
IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

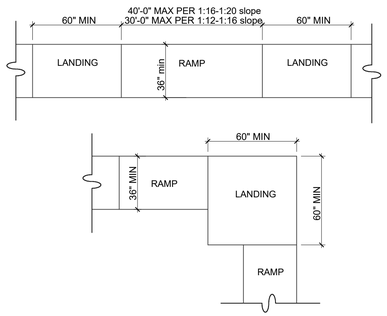
MARK	DATE	REVISIONS

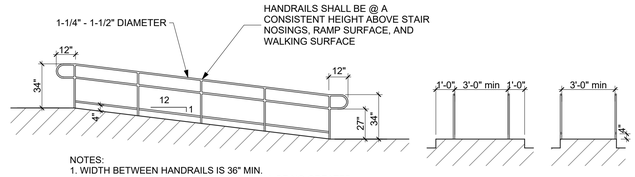
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

G101

PLOTTED ON: 9/13/2019

GENERAL NOTES & LEGENDS





NOTES:
1. WIDTH BETWEEN HANDRAILS IS 36" MIN.
2. CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:48 AND SHALL BE STABLE, FIRM, AND SLIP-RESISTANT. IF THE SLOPE IS EQUAL OR GREATER THAN 1:20 YOU ARE REQUIRED TO HAVE HANDRAILS ON BOTH SIDES OF RAMP.

RAMP STANDARDS

ADDITIONAL REQUIREMENTS

RAMPS: SLOPE 1:12 to <1:16 = MAX. RISE OF 30" AND MAX HORIZONTAL DISTANCE OF 30'-0"
SLOPE 1:16 to <1:20 = MAX. RISE OF 30" AND MAX HORIZONTAL DISTANCE OF 40'-0"
SLOPE 1:12 to 1:20 REQUIRES A HANDRAIL

SIGNAGE: **CHARACTER PROPORTION AND COLOR CONTRAST:**
LETTERS & NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO BETWEEN 1:5 AND 1:10. CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND AND BE NON-GLARE. CHARACTERS SHALL BE UPPER CASE. CHARACTER HEIGHT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER, SHALL BE 5/8" MIN AND 2" MAX BASE ON THE UPPERCASE LETTER "I".

RAISED OR INDENTED CHARACTERS OR SYMBOLS:
LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED OR INCISED 1/32" MIN AND SHALL BE SANS SERIF CHARACTERS. RAISED CHARACTERS OR SYMBOLS SHALL BE AT LEAST 5/8" HIGH, BUT NO HIGHER THAN 2". INDENTED CHARACTERS OR SYMBOLS SHALL HAVE A STROKE WIDTH OF AT LEAST 1/4". SYMBOLS OR PICTOGRAPHS ON SIGNS SHALL BE RAISED OR INDENTED 1/32".

MOUNTING LOCATION AND HEIGHT:
INTERIOR SIGNAGE SHALL BE LOCATED ALONGSIDE THE DOOR ON THE LATCH SIDE AND SHALL BE MOUNTED AT A HEIGHT OF 60" ABOVE THE FINISHED FLOOR.

GENERAL NOTES

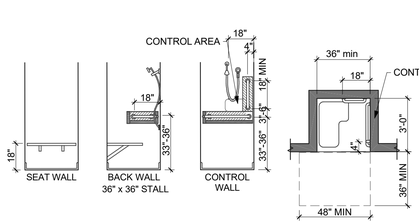
1. CONTRACTOR SHALL BE FAMILIAR AND INCORPORATE ALL PROVISIONS AND REQUIREMENTS ESTABLISHED BY CODES APPLICABLE TO THE PROJECT INCLUDING UFAS, ANSI, AND ADAAG.
2. MOUNTING HEIGHTS ARE IN FEET AND INCHES ABOVE THE FINISHED FLOOR.
3. BLOCKING TO BE INSTALLED AT GRAB BARS AT ACCESSIBLE TOILET LOCATIONS.
4. TYPICAL MOUNTING HEIGHTS SHALL BE USED UNLESS NOTED OTHERWISE.
5. SOLID WOOD BLOCKING OR GALVANIZED SHEET METAL SHALL BE LET-IN AND/OR OVERLAID AND SECURELY ANCHORED TO STUDS. BLOCKING MUST FIT SNUGLY AND FILL THE DESIGNATED SPACE.
6. NOT ALL ACCESSORIES SHOWN MAY NECESSARILY BE USED.

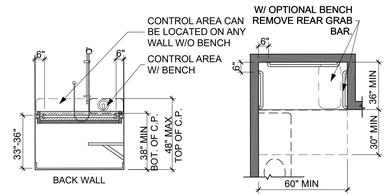
BDG Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

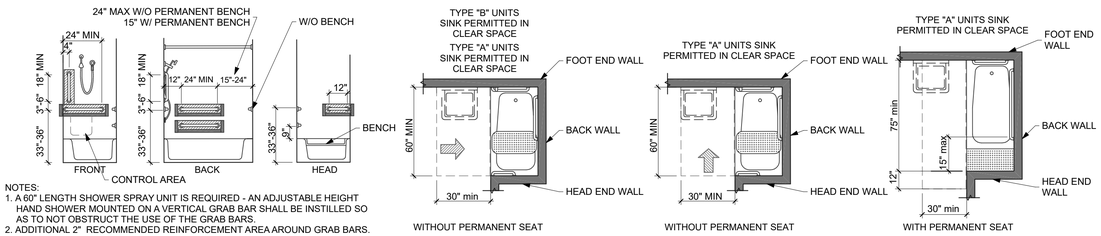




NOTES:
1. SHOWER HEAD AND CONTROL AREA TO BE LOCATED ON BACK (LONG) WALL AS SHOWN 38" MIN AND 48" MAX ABOVE THE SHOWER FLOOR, W/
2. A 60" MIN LENGTH SHOWER SPRAY UNIT IS REQUIRED
3. ADDITIONAL 2" RECOMMENDED REINFORCEMENT AREA AROUND GRAB BARS

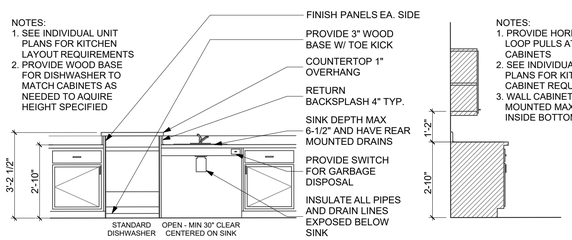
TRANSFER SHOWER

ROLL-IN SHOWER



NOTES:
1. A 60" LENGTH SHOWER SPRAY UNIT IS REQUIRED - AN ADJUSTABLE HEIGHT HAND SHOWER MOUNTED ON A VERTICAL GRAB BAR SHALL BE INSTILLED SO AS TO NOT OBSTRUCT THE USE OF THE GRAB BARS.
2. ADDITIONAL 2" RECOMMENDED REINFORCEMENT AREA AROUND GRAB BARS.

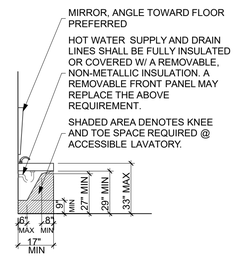
TYPE "A" AND "B" BATHTUB PLANS & ELEVATIONS



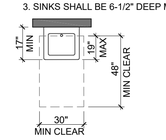
NOTES:
1. SEE INDIVIDUAL UNIT PLANS FOR KITCHEN LAYOUT REQUIREMENTS
2. PROVIDE WOOD BASE FOR DISHWASHER TO MATCH CABINETS AS NEEDED TO AQUIRE HEIGHT SPECIFIED

NOTES:
1. PROVIDE HORIZONTAL LOOP PULLS AT UPPER CABINETS
2. SEE INDIVIDUAL UNIT PLANS FOR KITCHEN CABINET REQUIREMENTS
3. WALL CABINET TO BE MOUNTED MAX. 48" TO INSIDE BOTTOM SHELF.

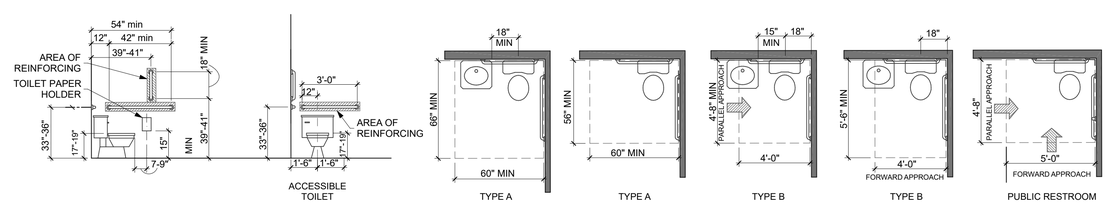
KITCHEN STANDARDS



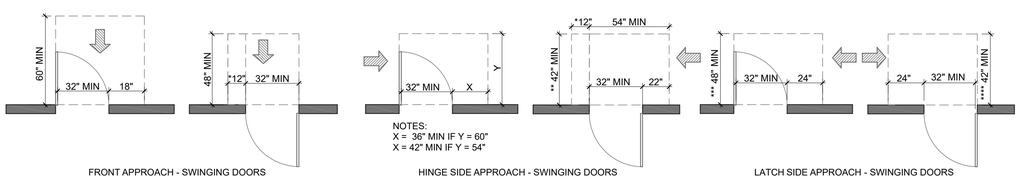
NOTES:
1. 34" MAX A.F.F. TO TOP OF WALL MOUNTED SINKS.
2. SEE PLANS & INTERIOR ELEVATIONS FOR PROJECT SPECIFIC DETAILS
3. SINKS SHALL BE 6-1/2" DEEP MAX.



SINK APPROACHES AND STANDARDS



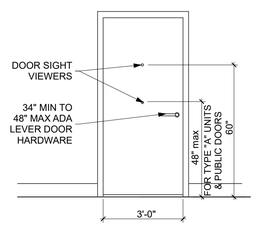
TOILET APPROACHES AND STANDARDS



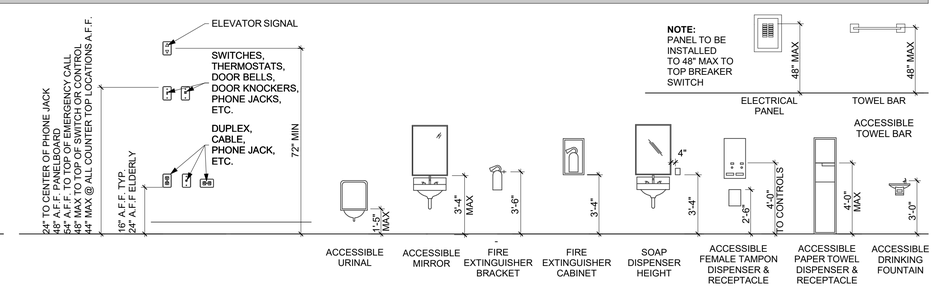
NOTES:
X = 36" MIN IF Y = 60"
X = 42" MIN IF Y = 54"

NOTES:
1. DOOR CLEARANCES ARE REQUIRED FOR ALL DOORS ASSOCIATED W/ TYPE "A" UNITS & PUBLIC SPACES. PLEASE REFERENCE PLANS FOR TYPE "B" REQUIREMENTS BEYOND UNIT SIDE OF THE ENTRY DOOR. RIGHT, OF THE CENTERLINE OF THE SEAT

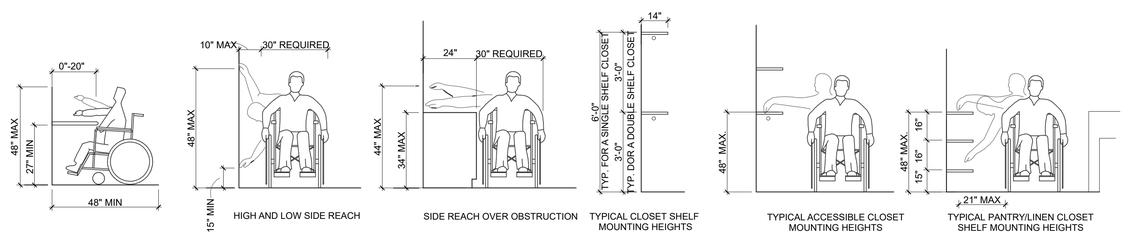
LEGEND:
* = IF BOTH CLOSER & LATCH ARE REQUIRED
** = 48" MIN IF BOTH CLOSER & LATCH PROVIDED
*** = 54" MIN IF CLOSER IS PROVIDED
**** = 48" MIN IF CLOSER IS PROVIDED



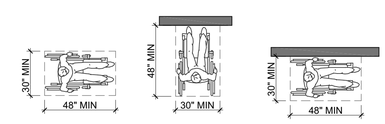
DOOR CLEARANCES



MISC. MOUNTING HEIGHTS

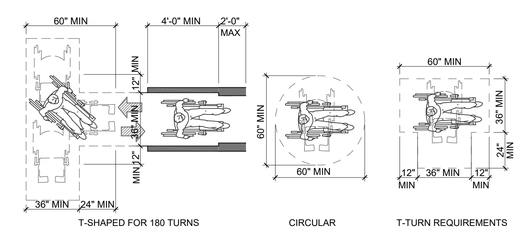


REACH REQUIREMENTS



NOTES:
1. ALL CLEAR FLOOR SPACES ARE 30"X48" UNLESS SPECIFIED OTHERWISE.

CLEAR FLOOR SPACE



WHEELCHAIR TURNING SPACE

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED, IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE ON PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS
2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

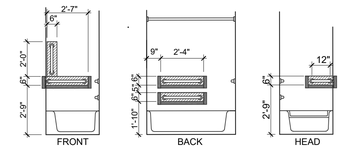
G102

PLOTTED ON: 9/13/2019

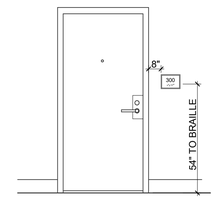
ACCESSIBLITY DETAILS & NOTES

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A. Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B. Arch\CAD Files\Winfield Place Apartments.pln
Winfield Place Apartments.pln

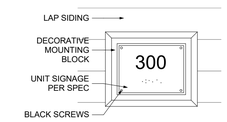
NOTE: BLOCKING ONLY INSTALLED AT STANDARD UNITS WHERE EXISTING TUBS AND SURROUNDS ARE BEING REPLACED.



STANDARD UNIT GRAB BAR BLOCKING

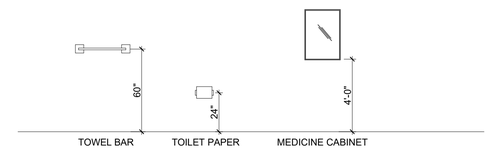


NOTE: SIGN TO BE MOUNTED ON LATCH SIDE OF DOOR. USE NEAREST WALL ON LATCH SIDE IF SPACE NOT PROVIDED.

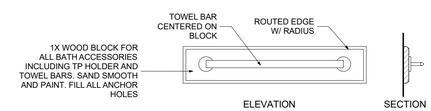


NOTE: AT VINYL SIDING MOUNT UNIT SIGN ON DECORATIVE VINYL MOUNTING BLOCK.

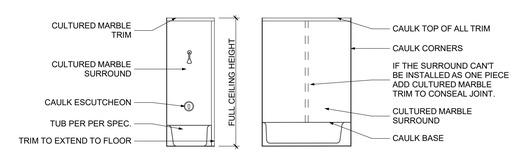
ENTRY DOOR UNIT SIGNAGE



STANDARD UNIT MISC. MOUNTING HEIGHTS



WALL MOUNTED BLOCKING



STANDARD SHOWER SURROUND

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

G103

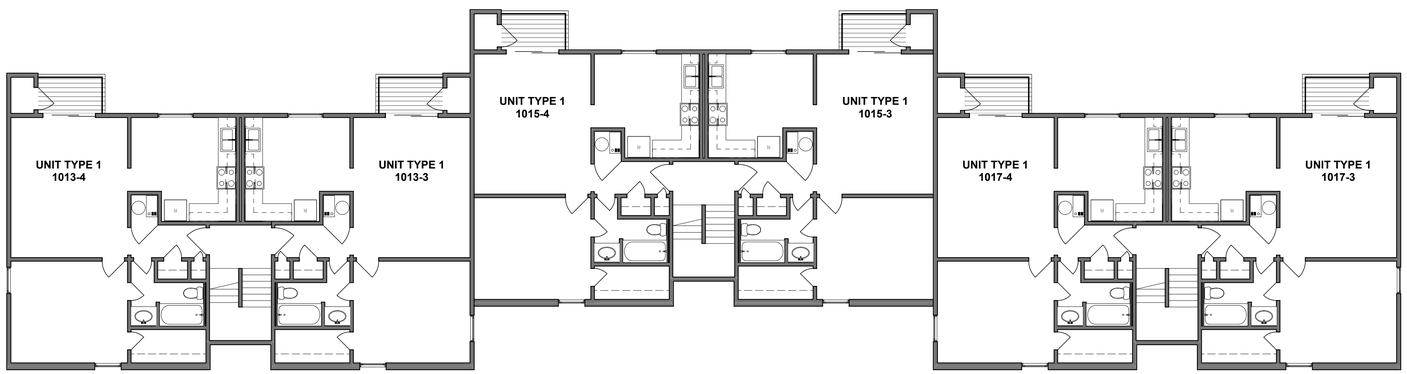
PLOTTED ON: 9/13/2019

STANDARD UNIT DETAILS & NOTES

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln

Winfield Place Apartments.pln

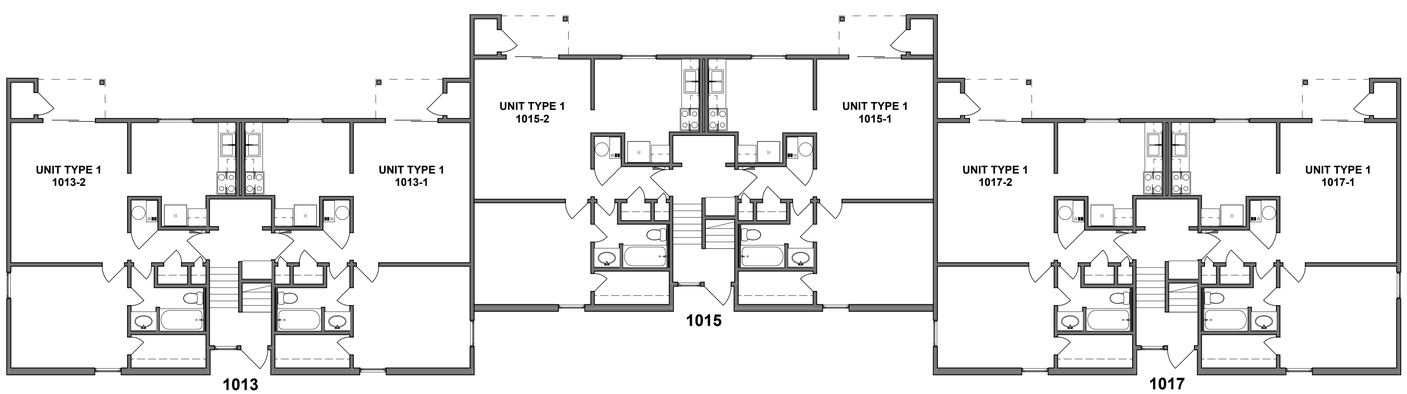
C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln



N

2 BUILDING 1013/1015/1017 - 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



N

1 BUILDING 1013/1015/1017 - 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

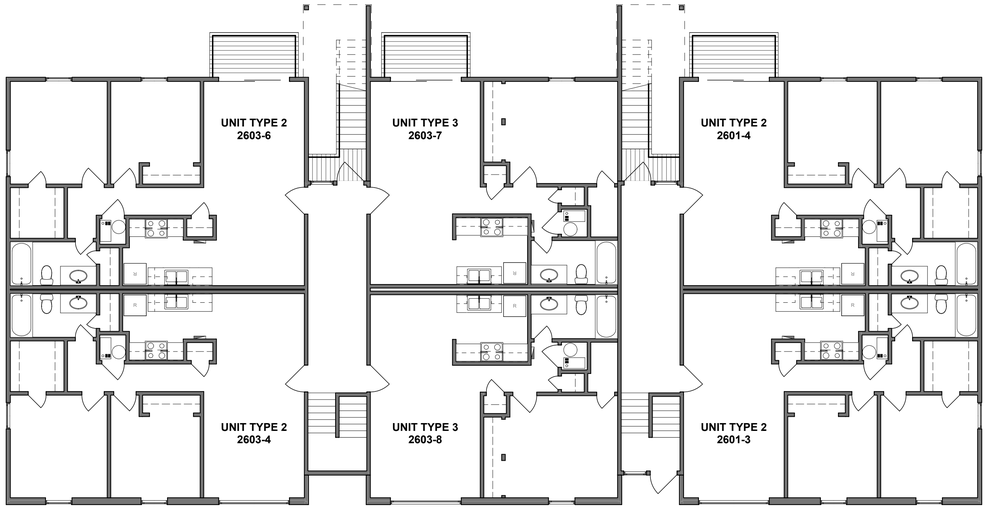
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A101

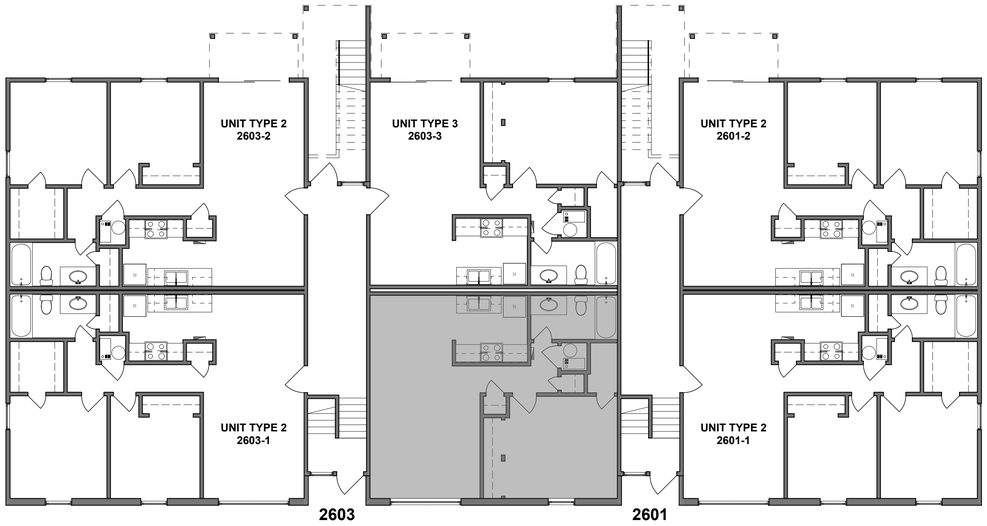
PLOTTED ON: 9/13/2019

OVERALL FLOOR PLANS

Winfield Place Apartments.pln



N 2 BUILDING 2601/2603 - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



N 1 BUILDING 2601/2603 - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

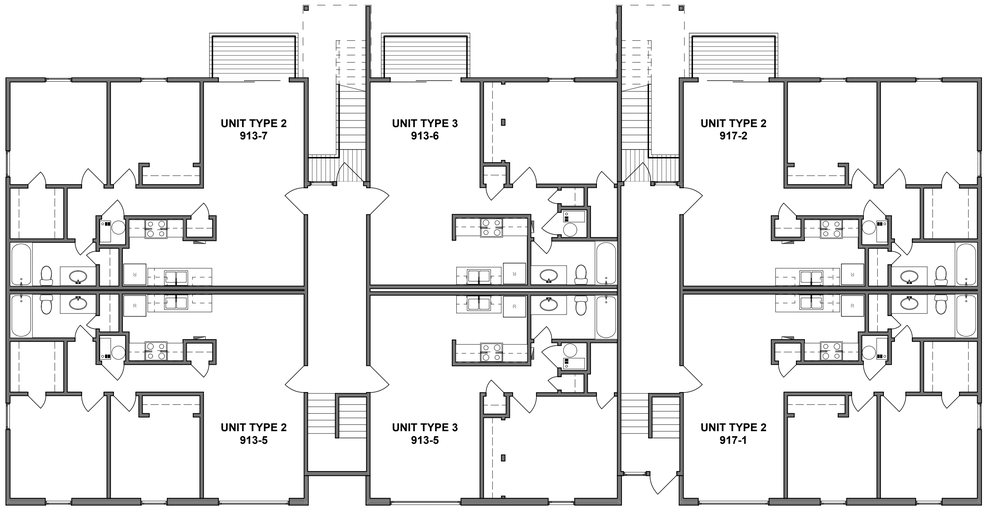
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A102

PLOTTED ON: 9/13/2019

OVERALL FLOOR PLANS

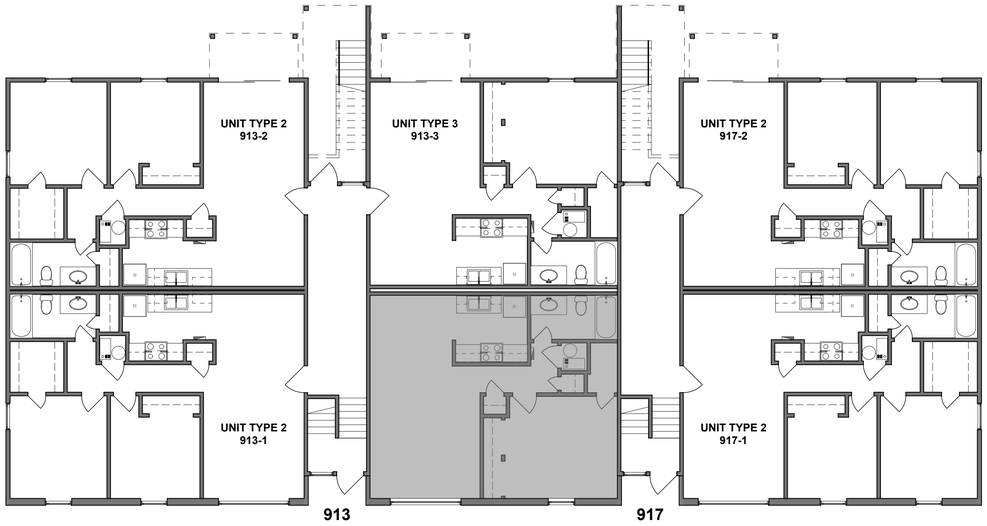
C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln
Winfield Place Apartments.pln



N

2 BUILDING 913/917 - 2ND FLOOR PLAN

SCALE: 1/8" = 1'-0"



N

1 BUILDING 913/917 - 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

PERMIT SET

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

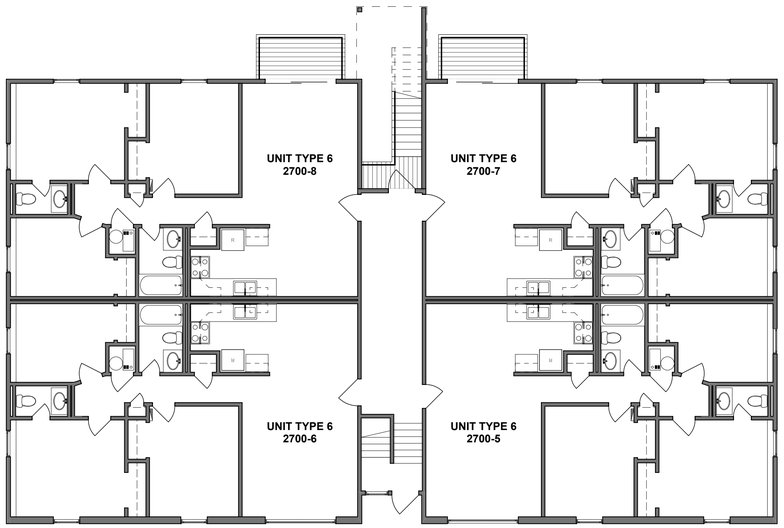
A103

PLOTTED ON: 9/13/2019

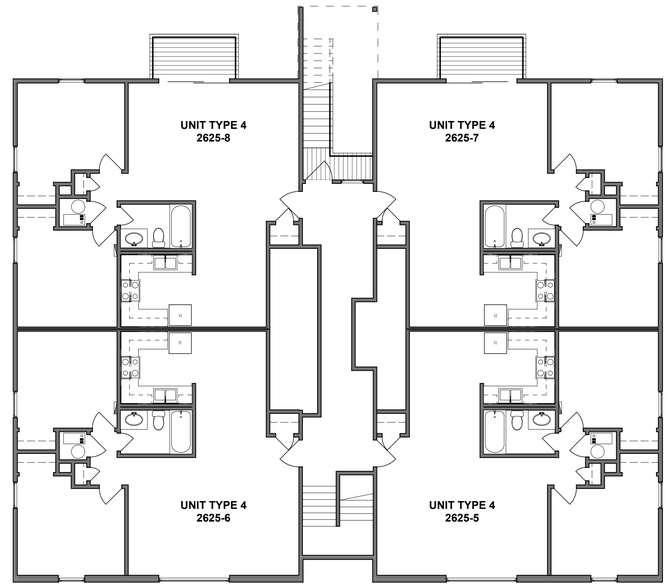
OVERALL FLOOR PLANS

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln

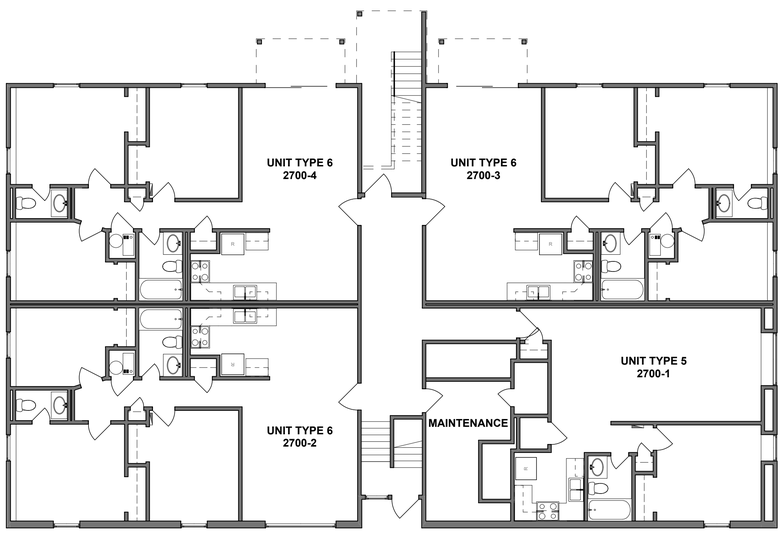
Winfield Place Apartments.pln



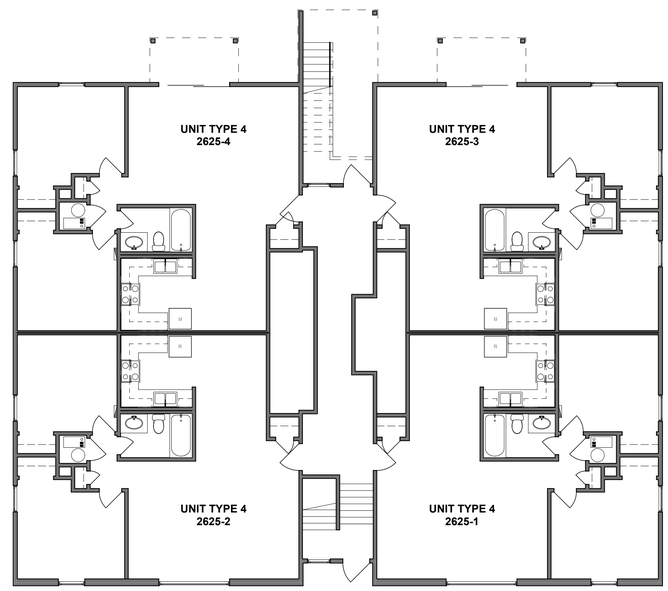
N 2 BUILDING 2700 - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



N 2 BUILDING 2625 - 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"



N 1 BUILDING 2700 - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"



N 1 BUILDING 2625 - 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED, IN WHOLE OR PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS
2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A104
PLOTTED ON: 9/13/2019

OVERALL FLOOR PLANS

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln
Winfield Place Apartments.pln

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln

GENERAL FLOOR PLAN NOTES:

A) DO NOT SCALE DRAWINGS.

B) ALL NEW WORK TO MEET ALL APPLICABLE BUILDING, PLUMBING, MECHANICAL, ACCESSIBILITY AND LIFE SAFETY CODES AND REQUIREMENTS.

C) FIELD MEASURE EXISTING CONDITIONS PRIOR TO MANUFACTURING, FABRICATION, ORDERING, BIDDING, ETC.

D) NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN PROJECT DOCUMENTS AND EXISTING CONDITIONS. ANY MODIFICATIONS DUE TO DIMENSIONAL CHANGES SHOULD BE PART OF THE PROJECT COST.

E) GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY FAMILIARIZE THEMSELVES TO ALL SITE SPECIFIC REQUIREMENTS AND EXTENTS OF THE NEW WORK PRIOR TO BIDDING. NO CHANGES IN THE CONTRACT WILL BE CONSIDERED FOR INFORMATION DISCERNIBLE FROM THE EXISTING CONDITIONS OR THE PROJECT DOCUMENTS.

F) REPORT ALL EXISTING CONDITIONS THAT ARE DAMAGED OR MARRED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE NEW WORK.

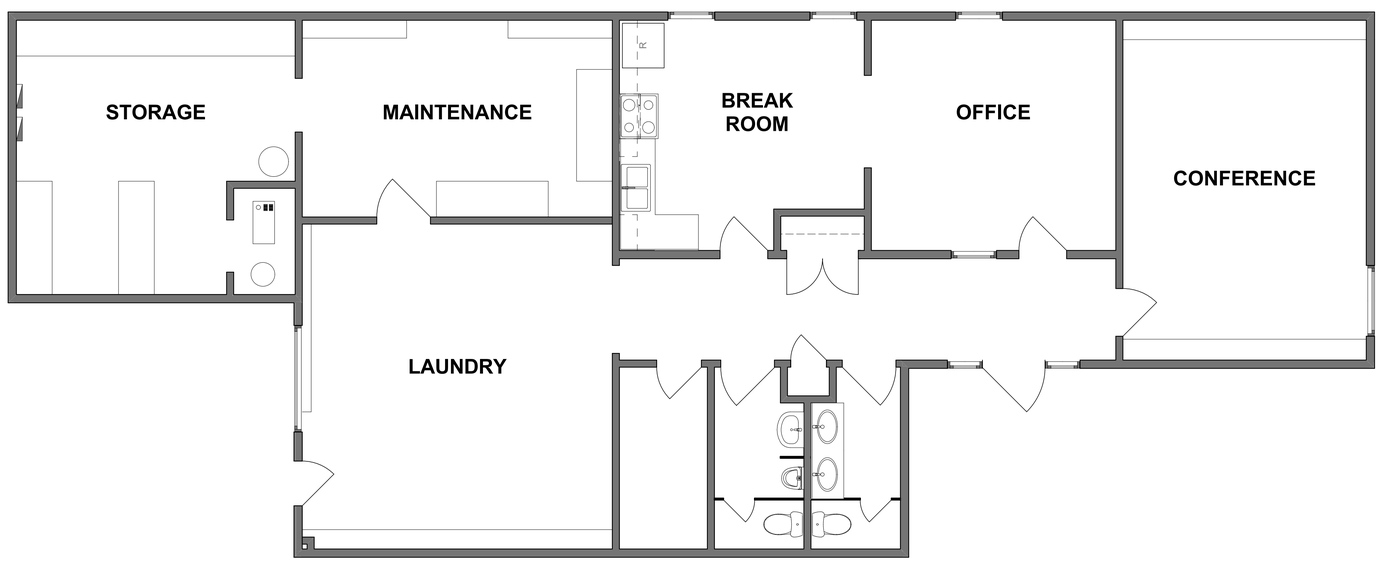
G) CAULK ALL JOINTS BETWEEN DISSIMILAR MATERIALS FOR WEATHERTIGHT, WATERTIGHT, AIRTIGHT, ETC., PERFORMANCE.

H) ALL NEW PARTITIONS THAT INTERSECT EXISTING WALLS MUST BE FITTED TIGHTLY TO WALLS AND CAULKED WITH TWO BEADS OF ACOUSTICAL CAULK.

I) WHERE EXISTING WINDOW OPENINGS ARE USED FOR NEW WINDOWS, THE ROUGH OPENING SHALL BE OBSERVED BY THE CONTRACTOR PRIOR TO INSTALLING THE NEW WINDOW TO VERIFY INTEGRITY OF THE ADJACENT FRAMING. REPAIR IF NEEDED AS RECOMMENDED BY THE FRAMING SUBCONTRACTOR AND APPROVED BY THE OWNER AND ARCHITECT.

J) PLUMBING VENT STACKS, FLUES, FRESH AIR INTAKES, ETC. NOT SHOWN FOR CLARITY. EXISTING LOCATIONS OF SUCH INFRASTRUCTURE TO REMAIN.

K) HEADERS @ NEW INTERIOR NON-LOAD BEARING WALLS TO BE SINGLE 2X4 PLATE W/ 2X CRIPPLE STUD CONNECTED TO DOUBLE TOP PLATE, UNLESS NOTED OTHERWISE.



N

1 BUILDING 2610 - LEASING OFFICE - 1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

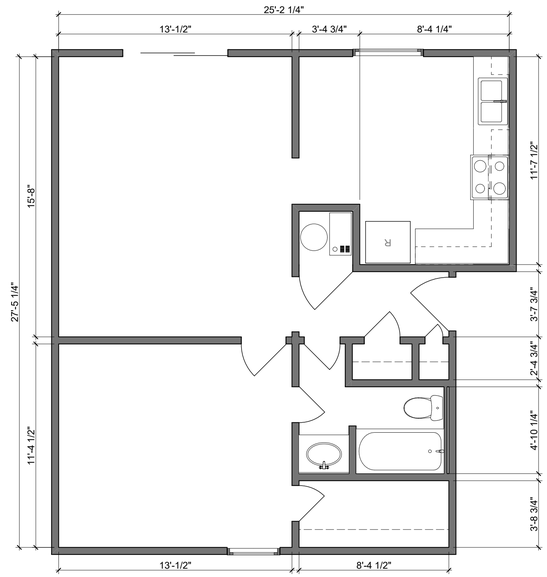
ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A105

PLOTTED ON: 9/13/2019

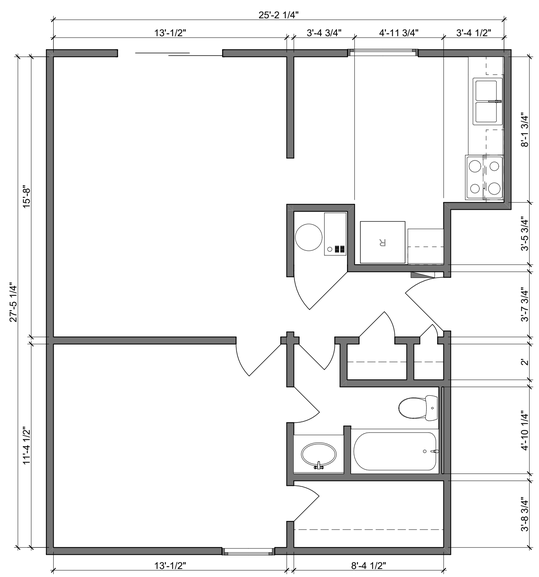
LEASING OFFICE

Winfield Place Apartments.pln



2 UNIT TYPE 1 - BLDG 1013/1015/1017 - 2ND FLR - 611 SF

SCALE: 1/4" = 1'-0"



1 UNIT TYPE 1 - BLDG 1013/1015/1017 - 1ST FLR - 600 SF

SCALE: 1/4" = 1'-0"

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

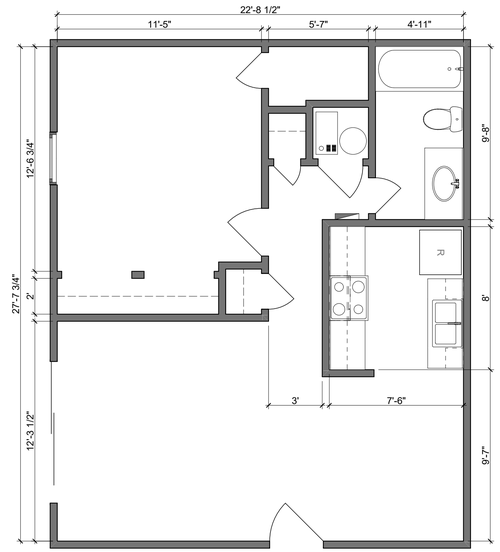
A201

PLOTTED ON: 9/13/2019

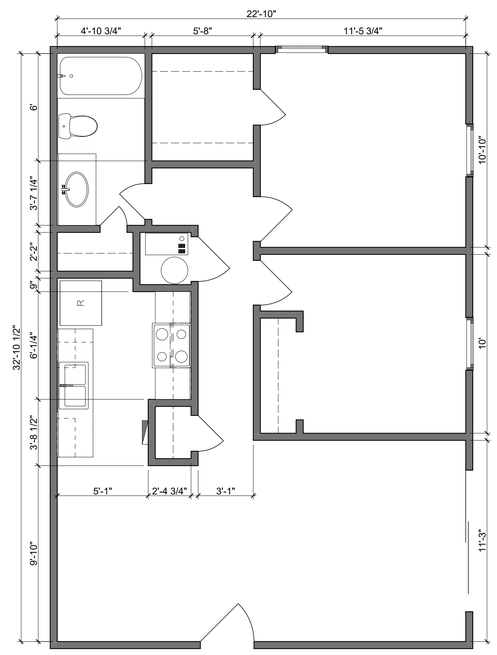
ENLARGED UNIT PLANS

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln

Winfield Place Apartments.pln



2 UNIT TYPE 3 - BLDG 913 & 2603 - 603 SF
SCALE: 1/4" = 1'-0"



1 UNIT TYPE 2 - BLDG 913/917 & 2601/2603 - 716 SF
SCALE: 1/4" = 1'-0"

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS

2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

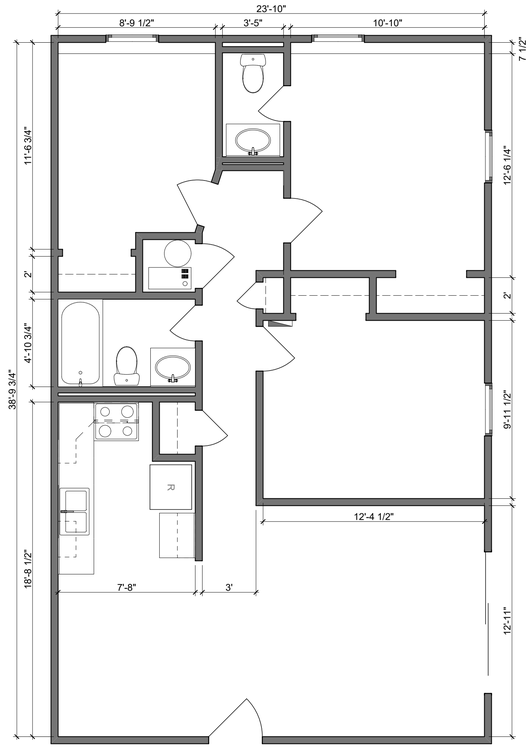
A202

PLOTTED ON: 9/13/2019

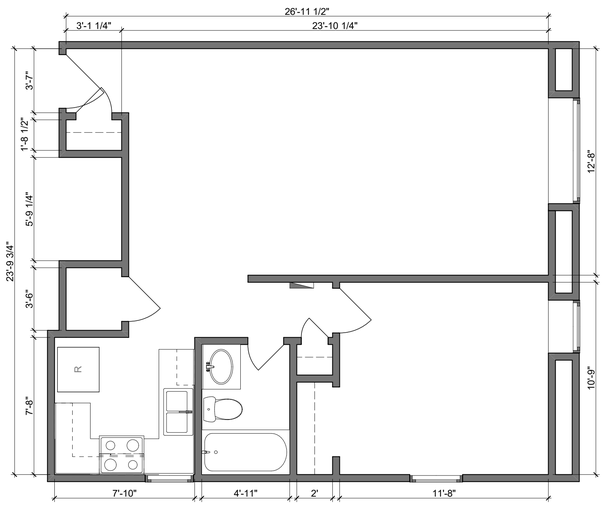
ENLARGED UNIT PLANS

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln

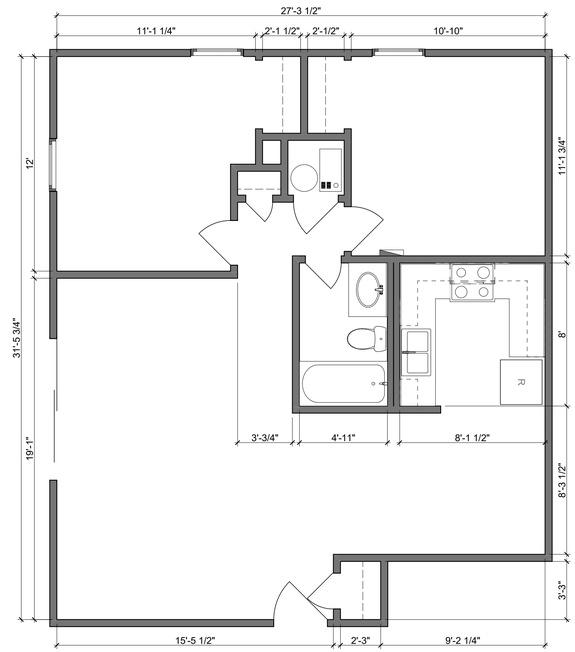
Winfield Place Apartments.pln



3 UNIT TYPE 6 - BLDG 2700 - 878 SF
SCALE: 1/4" = 1'-0"



1 UNIT TYPE 5 - BLDG 2700 - 604 SF
SCALE: 1/4" = 1'-0"



1 UNIT TYPE 4 - BLDG 2625 - 791 SF
SCALE: 1/4" = 1'-0"

GENERAL PROJECT REQUIREMENTS:

1. RANGES LOCATED IN A CORNER REQUIRE GREASE GUARDS ALONG BOTH WALLS.

2. PROVIDE RATED ACCESS PANELS AT ALL CEILINGS LOCATED BELOW UPPER FLOOR TUB DRAINS.

3. IF NEW INTERIOR DOORS ARE BEING PROVIDED WITH NEW HARDWARE, EXISTING DOOR HARDWARE MUST BE REPLACED TO MATCH.

4. FULL UNIT PAINT INCLUDES WALLS, CEILINGS, DOORS AND TRIM THROUGHOUT UNIT.

5. KWIKSET KEY CONTROL IS ONLY TO BE INSTALLED ON MAIN ENTRY DOOR TO UNIT.

6. ALL UNIT ENTRY DOORS TO RECEIVE METAL DOOR REINFORCEMENT AROUND DOOR HARDWARE. COLOR TO MATCH HARDWARE.

7. WHERE MAILBOXES ARE BEING REPLACED PROVIDE ONE CENTRAL MAIL KIOSK AREA.

8. WHERE UNIT MECHANICAL CLOSETS ARE GETTING NEW EQUIPMENT, VERIFY THE INTERIOR HAS FULL LEVEL 3 FINISH, WITH TAPED DRYWALL SEAMS AND PAINTED WALLS AND CEILING. MECHANICAL CLOSET TO BE PAINTED BEFORE INSTALLATION OF NEW EQUIPMENT. ALL MECHANICAL CLOSETS TO BE CLEANED OF ALL DEBRIS. ALL PENETRATIONS ARE TO BE FIRE CAULKED.

9. ADD SCRIBE MOLD ALONG THE SIDES OF ANY BASE CABINETS THAT ARE NOT FLUSH TO THE WALL.

10. JET UNDERSLAB DRAIN LINES AT ALL FIRST FLOOR UNITS. VERIFY WITH OWNER.

11. DO NOT PAINT OVER NEW DOOR HARDWARE.

12. DO NOT REPLACE HINGES ON OLD DOORS.

13. ALL BATH ACCESSORIES IN STANDARD UNITS ARE TO BE WALL MOUNTED ON 1X PAINTED WOOD BLOCK WITH ROUTERED EDGE. SAND BLOCK SMOOTH PRIOR TO INSTALLATION. FILL ANCHOR HOLES.

14. UNIT BATHROOM EXHAUST FANS ARE TO BE TIED TO LIGHT ON ONE SWITCH.

15. EXTERIOR ENTRY DOOR LIGHTS ARE TO HAVE BLANK ON INTERIOR WALL PLATE, SO PHOTOCELL FIXTURE CAN'T BE TURNED OFF.

16. WHERE AN EXISTING BATHROOM VANITY BASE CABINET STOPS SHORT OF A WALL, CABINET IS TO EXTEND "WALL TO WALL" WHEN BEING REPLACED TO AVOID DEAD SPACE. CONFIRM WITH ARCHITECT.

17. PREPARE, SAND, SCRAPE AND PRIME ALL EXTERIOR METAL RAILS AND BALUSTERS PRIOR TO PAINTING.

18. SEAL ALL EXTERIOR PENETRATIONS OR OPENINGS AT DAMAGED LOCATIONS (I.E. AT LINESETS, CRAWL SPACE VENTS, AROUND HOSE BIB, DAMAGED MASONRY, WINDOW SILLS, ETC.)

19. QUARTER ROUND AT BASE CABINETS MUST BE PROVIDED BY CABINET MANUFACTURER TO MATCH CABINETS. QUARTER ROUND IS TO BE NOTCHED TIGHT AT A 45 DEGREE ANGLE AROUND TOEKICK OF CABINET. THERE ARE TO BE NO GAPS BETWEEN QUARTER ROUND AND CABINET.

20. QUARTER ROUND AT TUBS MUST BE PVC OR COMPOSITE MATERIAL. WOOD IS PROHIBITED.

21. PROVIDE MEDALLION AT ALL CEILING FAN LOCATIONS.

22. WHERE UNITS ARE PAINTED, WALLS AND TRIM ARE TO BE PREPARED WITH SCRAPING, MUDDING HOLES OR DENTS AND MATCHING EXISTING TEXTURES AT WALL OR CEILING, AS REQUIRED.

23. CAULK AROUND ALL PERIMETER FLOORS AND JAMBS.

24. ALL MECHANICAL DOORS REQUIRE DEADBOLTS.

25. ALL PLUMBING PENETRATIONS THROUGH WALL REQUIRE ESCUTCHEONS.

26. WHERE STANDARD UNIT TUBS AND SURROUNDS ARE BEING REPLACED, 2X BLOCKING IS TO BE INSTALLED FOR FUTURE GRAB BARS, AS MAY BE REQUIRED BY RESIDENT FOR REASONABLE ACCOMODATION.

27. ADD STRIKE MASTER BRACING TO ALL EXTERIOR DOORS WITH WOOD JAMBS.

28. EXTERIOR DOOR HARDWARE PACKAGE TO INCLUDE:
-SMART KEY, KEY CONTROL DEADBOLT (EVERYWHERE EXCEPT TEXAS)
-½ BORE DEADBOLT
-LEVER SET AT ALL EXTERIOR DOORS.
-180 DEGREE PEEP HOLE (ACCESSIBLE UNITS REQUIRE ADDITIONAL PEEP HOLE AT ACCESSIBLE HEIGHT.)
-DOOR KNOCKER.

BDG
Benton Design Group

Benton Design Group
913 Bullpen Drive
O'Fallon, MO 63366
P: (636) 515.0382
E: adam@bentondg.com

BENTON DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY:
2015025158

CONSULTANT

THIS DRAWING AND THE DETAILS ON IT ARE THE SOLE PROPERTY OF THE ARCHITECT AND MAY BE USED FOR THIS SPECIFIC PROJECT ONLY. IT SHALL NOT BE LOANED, COPIED OR REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE OR PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

© COPYRIGHT 2019 BY BENTON DESIGN GROUP

PERMIT SET

WINFIELD PLACE APARTMENTS
2610 EAST 11TH STREET
KANSAS CITY, MO 64127
STEELE PROPERTIES LLC
6875 EAST EVANS AVENUE
DENVER, CO 80224

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE ONE INCH (1") EXACTLY, THIS DRAWING WILL HAVE BEEN ENLARGED OR REDUCED, AFFECTING ALL LABELED SCALES.

MARK	DATE	REVISIONS

ISSUE DATE:	**ISSUE DATE**
SCALE:	AS NOTED
DRAWN BY:	ATP
CHECKED:	
PROJECT:	15-2-010

A203

PLOTTED ON: 9/13/2019

ENLARGED UNIT PLANS

C:\Users\sarna\Dropbox (Benton Design Group)\Benton Design Group Team Folder\A_Projects\19-2-034 - Winfield Place Apartments - Kansas City, MO\B_ArchCAD Files\Winfield Place Apartments.pln
Winfield Place Apartments.pln